



GARLAND

NOTICE OF MEETING CITY OF GARLAND, TEXAS

PLAN COMMISSION
City Hall, Council Chambers
William E. Dollar Municipal Building
200 N. Fifth Street
Garland, Texas
January 10, 2022 at 7:00 p.m.

A meeting of the Plan Commission of the City of Garland, Texas will be held at the aforementioned location, date, and time to discuss and consider the following agenda items.

A pre-meeting will begin at 6:20 p.m. at the same location as the regular meeting. The agenda for the pre-meeting is the same as for the regular meeting, and may include additional items as set forth below.

INVOCATION AND PLEDGE OF ALLEGIANCE: It is the custom and tradition of the members of the Plan Commission to have an invocation and recital of the Pledge of Allegiance prior to the beginning of the meeting. Members of the audience are invited to participate. However, members of the audience are not required to participate. The decision to participate is strictly a matter of personal choice and has no bearing on matters to be considered by the Plan Commission and will not affect the decisions to be made during the meeting.

The meeting will be broadcast on City of Garland Government Access Television (CGTV). CGTV is available via GarlandTX.gov, channel 16 (Spectrum), Channel 44 (Frontier), and channel 99 (AT&T U-verse). Meetings are broadcast online via live streaming, on-demand, and air on CGTV with several rebroadcasts during the week of the meeting.

Alternatively, the meeting will be broadcast by webinar at the following URL:

https://garlandtx.zoom.us/webinar/register/WN_oHF5f_haTaWKfJTOtg4MOw

After registering, you will receive a confirmation email containing information about joining the webinar.

For those without internet access to the meeting, a dial-in option is available. The toll-free numbers are:

**877-853-5247
888-788-0099**

Additionally, the meeting may be accessed by phone at the following numbers:

**346-248-7799
470-250-9358
470-381-2552**

The Meeting ID is: 833 5647 2749

For participants (online and by phone) who wish to speak on an item on the agenda, you must use the "raise hand" feature in order to be recognized.

Those joining the meeting by phone may press ***9** to raise your hand. After speaking, please re-mute your phone by pressing ***6**.

Public Comments

Whether you are attending the meeting in-person or via webinar, you are invited to offer a comment or make a statement on any item on the agenda as that item is called. Your comments must relate to an item on this agenda - non-germane comments are not in order. Time limits will be imposed by the Chairman as appropriate to the nature of the agenda item. Generally, public speakers are given three minutes.

REGISTRATION: If you are attending the meeting via webinar, Registration for the webinar will be required for any citizen wishing to speak. If you choose to speak via the webinar, you must use the "raise hand" feature in order to be recognized.

IN-PERSON COMMENTS: If you are attending the meeting in-person, Registration will be required for any citizen wishing to speak. Speakers shall register using the electronic registration kiosks in the lobby of City Hall.

Garland City Hall and Council Chambers is wheelchair accessible. Special parking is available on the east side of City Hall and on Austin & State Street west of City Hall. Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services must contact the City Secretary's Office at (972) 205-2404 at least two working days prior to the meeting so that appropriate arrangements can be made. BRAILLE IS NOT AVAILABLE.

If the Plan Commission adjourns into executive session during this meeting, the executive session will be conducted by teleconference between and among the members of the Plan Commission and relevant City staff. Public access to that call is prohibited by State law.

CONSENT AGENDA

All items under this section are recommended for approval by a single motion of the Plan Commission, without discussion. The Plan Commission has had the opportunity to review each of these items during a pre-meeting. The Chairman will announce the agenda and provide an opportunity for members of the audience and the Plan Commission to request that an item be removed and considered separately.

1. MINUTES

- a. Consider approval of the Plan Commission Minutes for the December 15, 2021 meeting.

ITEMS FOR INDIVIDUAL CONSIDERATION

Speaker Regulations:

Anyone wishing to speak for, against, or on agenda items must fill out a speaker card and give it to the Plan Commission Secretary before speaking (cards are located at the entrance to the Council Chambers). The Chairman will recognize speakers; he may impose a time limit and may provide for rebuttal. All comments and testimony are to be presented from the podium.

2. ZONING

- a. Consideration of the application of **Amro Issa – Crown Castle**, requesting approval of a Specific Use Provision renewal for an Antenna, Commercial on a property zoned Industrial (IN) District. This property is located at 3209 South Shiloh Road. (District 5) (File Z 21-44 – Specific Use Provision)
- b. Consideration of the application of **Amro Issa – Crown Castle**, requesting approval of a Plan for the continued use of an Antenna, Commercial. This property is located at 3209 South Shiloh Road. (District 5) (File Z 21-44 - Plan)
- c. Consideration of the application of **Summit Designs**, requesting approval a Change in Zoning from Agricultural (AG) District to Single-Family Estate (SF-E) District. This property is located at 5809 Lyons Road. (District 3) (File Z 21-58)
- d. Consideration of the application of **Via Bayou, Inc.**, requesting approval of an amendment to Planned Development (PD) District 20-13 to add Recreational Vehicles to the Phase 2 area previously approved for Cabins, thus allowing both Cabins and Recreational Vehicles. This property is located at 3926 Zion Road. (District 3) (File Z 21-61 - Zoning)

- e. Consideration of the application of **Via Bayou, Inc.**, requesting approval of a Detail Plan to allow Cabins and Recreational Vehicles in Phase 2 of Planned Development (PD) District 20-13. This property is located at 3926 Zion Road. (District 3) (File Z 21-61 – Detail Plan)

3. ADJOURN

NOTICE: The Plan Commission may recess from the open session and convene in a closed session if the discussion of any of the listed agenda items concerns matters regarding privileged and unprivileged client information deemed confidential by Rule 1.05 of the Texas Disciplinary Rules of Professional Conduct. Sec. 551.071, Tex. Gov't Code.

NOTE: A quorum of the City Council may be in attendance and may or may not participate in the discussions of the Committee or board.



GARLAND

Plan Commission

1. a.

Meeting Date: 01/10/2022

Item Title: Plan Commission Minutes for December 15, 2021

Summary:

Consider approval of the Plan Commission Minutes for the December 15, 2021 meeting.

Attachments

Plan Commission Minutes for December 15, 2021

Minutes of the Garland Plan Commission Meeting

The Plan Commission of the City of Garland met in regular session on Wednesday, December 15, 2021, at 7:00 p.m., in the Council Chambers at the William E. Dollar Municipal Building (City Hall), with the following members present:

COMMISSION PRESENT

Chair	Scott Roberts
1 st Vice-Chair	Christopher Ott
2 nd Vice-Chair	Douglas Williams
Commissioner	Wayne Dalton
Commissioner	Julius Jenkins
Commissioner	Margaret Lucht
Commissioner	Mike Rose

STAFF PRESENT

Sr. Assistant City Attorney	Stephen Hines
Recording Secretary	Tracy Allmendinger
Planning Director	Will Guerin
Lead Development Planner	Nabiha Ahmed
Development Planner	Kimberly Hopkins
Senior Planner	Josue De La Vega

CONSENT AGENDA

All items marked with asterisks (**) on the Consent Agenda were voted on at the beginning of the meeting. Chair Roberts read those items into the record. **Motion** was made by Commissioner Williams to **approve** the Consent Agenda as presented, seconded by Commissioner Lucht. **Motion carried: 6 Ayes, 0 Nays.** Commissioner Dalton did not vote due to his absence from this meeting.

MINUTES

1a. APPROVED** Consider approval of the Plan Commission Minutes for the November 22, 2021 meeting.

PLATS

2a. APPROVED** P 21-35 Home Depot / Ryan's Addition Replat

2b. APPROVED** P 21-34 Heights at Campfire Crossing Replat

2c. APPROVED** P 21-36 Draper Garland Addition Preliminary Plat

2d. APPROVED P 21-37 Cook Industrial Conveyance Plat**

ZONING

3a. APPROVED Consideration of the application of **Lars Anderson & Associates, Inc.**, requesting approval of an amendment to Planned Development (PD) District 97-23 for Community Retail (CR) Uses. This property is located at 3261 North President George Bush Turnpike. (District 1) (File Z 21-42 - Zoning)

There was discussion among the Plan Commission regarding absence of landscape screening and outside storage of heavy equipment in proximity to residential neighborhoods.

Motion was made by Commissioner Rose to close the public hearing and **deny** the request. Motion failed due to the lack of a Second.

Motion was made by Commissioner Rose to close the public hearing and open for discussion. Seconded by Commissioner Williams. **Motion carried: 7 Ayes, 0 Nays.**

There was further discussion regarding landscaping and clarification of the motion.

Motion was made by Commissioner Jenkins to approve the request for the building expansion and tool rental and deny the request for outdoor storage of heavy equipment and rental trucks. Seconded by Commissioner Williams. **Motion carried: 6 Ayes, 1 Nay from Commission Rose.**

3b. APPROVED Consideration of the application of **Lars Anderson & Associates, Inc.**, requesting approval of a Detail Plan for a building expansion and outdoor rentals of vehicles and equipment on a property zoned Planned Development (PD) District 97-23. This property is located at 3261 North President George Bush Turnpike. (District 1) (File Z 21-42 – Detail Plan)

Motion was made by Commissioner Jenkins to approve the request for the building expansion and tool rental and deny

the request for outdoor storage of heavy equipment and rental trucks. Seconded by Commissioner Williams. **Motion carried: 6 Ayes, 1 Nay from Commission Rose.**

3c. APPROVED Consideration of the application of **Zone Systems**, requesting approval of a Specific Use Provision (SUP) renewal for Fuel Pumps, Retail. This property is located at 1810 West Kingsley Road. (District 5) (File Z 21-47 – Specific Use Provision)

The applicant Peter Kavanagh, 1620 Handley Drive, Dallas, Texas, provided a brief overview of the request and remained available for questions.

There were no questions of this applicant.

Motion was made by Commissioner Lucht to close the public hearing and **approve** the application for a period of 20 years. Seconded by Commissioner Jenkins. **Motion carried: 7 Ayes, 0 Nays.**

3d. APPROVED Consideration of the application of **Zone Systems**, requesting approval of a Plan for Fuel Pumps, Retail. This property is located at 1810 West Kingsley Road. (District 5) (File Z 21-47 - Plan)

Motion was made by Commissioner Lucht to close the public hearing and **approve** the application. Seconded by Commissioner Jenkins. **Motion carried: 7 Ayes, 0 Nays.**

3e. APPROVED Consideration of the application of **Wood Partners % Masterplan**, requesting approval of an amendment to Planned Development (PD) 18-33 and Planned Development (PD) District 03-53. This property is located at 3422 Firewheel Parkway. (District 1) (File Z 21-48 - Zoning)

The applicant Maxwell Fisher, 2595 Dallas Parkway, Frisco, Texas, provided an overview of the request and remained available for questions.

There was discussion between Chair Roberts and Mr. Fisher regarding entry points into the complex.

Motion was made by Commissioner Dalton to close the public hearing and **approve** the application as presented. Seconded by Commissioner Rose. **Motion carried: 7 Ayes, 0 Nays.**

3f. APPROVED Consideration of the application of **Wood Partners % Masterplan**, requesting approval of a Detail Plan for Multi-Family development. This property is located at 3422 Firewheel Parkway. (District 1) (File Z 21-48 – Detail Plan)

Motion was made by Commissioner Dalton to close the public hearing and **approve** the application as presented. Seconded by Commissioner Rose. **Motion carried: 7 Ayes, 0 Nays.**

3g. APPROVED Consideration of the application of **Stantec Consulting Services, Inc.**, requesting approval of an amendment to Planned Development (PD) District 00-21 and Planned Development (PD) District 97-12 to allow Automobile Sales, New or Used. This property is located at 2101, 2110 and 2201 Millay Boulevard and 12715 Lyndon B Johnson Freeway. (District 5) (File Z 21-49 – Zoning)

The applicant David Savaras, 13075 West Emerly Ct, Lake Forest Illinois and Paul Hames, 6080 Tennyson Parkway, Suite 200, Plano, Texas, provided a brief overview and remained available for questions.

There was discussion between the Commission and applicant regarding accessibility to the parking lot, flood plain and drainage, resurfacing of the parking lot, noise levels, and safety concerns were raised with employees having to cross the street to get from and to the subject sites.

Motion was made by Commissioner Jenkins to close the public hearing and **approve** the application with the provision of no vehicle repairs on the actual lot. Seconded by Commissioner Ott. **Motion carried: 7 Ayes, 0 Nays.**

3h. APPROVED Consideration of the application of **Stantec Consulting Services, Inc.**, requesting approval of a Detail Plan for Automobile Sales, New or Used on a property zoned Planned Development (PD) District 00-21 and Planned Development (PD) District 97-12. This property is located at 2101, 2110 and 2201 Millay Boulevard and 12715 Lyndon B Johnson Freeway. (District 5) (File Z 21-49 – Detail Plan)

Motion was made by Commissioner Jenkins to close the public hearing and **approve** the application with the provision of no vehicle repairs on the actual lot. Seconded by Commissioner Ott. **Motion carried: 7 Ayes, 0 Nays.**

ADJOURNMENT

There being no further business to come before the Plan Commission, the meeting adjourned at 7:44 p.m.

City of Garland, TX

Approved:

Chairman

Attested:

Recording Secretary



GARLAND

Plan Commission

2. a.

Meeting Date: 01/10/2022

Item Title: Z 21-44 Amro Issa - Crown Castle - Specific Use Provision (District 5)

Summary:

Consideration of the application of **Amro Issa – Crown Castle**, requesting approval of a Specific Use Provision renewal for an Antenna, Commercial on a property zoned Industrial (IN) District. This property is located at 3209 South Shiloh Road. (District 5) (File Z 21-44 – Specific Use Provision)

Attachments

Z 21-44 Armo Issa-Castle (Specific Use Provision) Report and Attachments

Z 21-44 Amro Issa - Crown Castle Responses

Planning Report

File No: Z 21-44/District 5

Agenda Item:

Meeting: Plan Commission

Date: January 10, 2022



GARLAND

TEXAS MADE HERE

REQUEST

Approval of a Specific Use Provision renewal for Antenna, Commercial on a property zoned Industrial (IN) District.

Approval of a Plan for an Antenna, Commercial Use.

LOCATION

3209 South Shiloh Road

APPLICANT

Amro Issa- Crown Castle

OWNER

Mike Harrison

BACKGROUND

In 1992, City Council approved a Specific Use Provision [S 92-13] to allow a commercial antenna for wireless communications use. The applicant is proposing to renew the expired Specific Use Provision for the Antenna, Commercial.

SITE DATA

The subject site contains approximately 1.94 acres while the lease area for the tower is 468 square feet. The site has approximately 222 lineal feet of frontage along South Shiloh Road.

USE OF PROPERTY UNDER CURRENT ZONING

The subject site is zoned Industrial (IN) District. The Industrial (IN) District is intended to provide for a wide range of industrial uses that are generally not compatible adjacent to residential neighborhoods, and may or may not be compatible with some nonresidential uses. Such uses include manufacturing, processing, assembling, research and development, and warehousing and distribution. The Industrial (IN) District also accommodates support services for industrial development such as office, commercial, personal and professional services, and limited retail activities.

The applicant is requesting to renew a Specific Use Provision to continue the use of the Commercial Antenna.

CONSIDERATIONS

1. The applicant proposes to continue the existing Antenna, Commercial Use on the 1.94-acre site. The applicant is not proposing any additional improvements on the existing 75'-10" tower.
2. The applicant is not changing or expanding the height of the existing tower. Therefore, additional screening is not triggered by this request. The base of the tower is screened from the right of way by an existing building.

3. While GDC Chapter 2 Section 2.65(D) states that freestanding commercial antenna support structures must be a minimum distance of five thousand (5,000) feet from another wireless telecommunications antenna, this tower is existing and other towers were constructed after 1992 within the 5,000-foot radius. The nearest tower is approximately 3,100 feet away.
4. The applicant requests the Specific Use Provision to be in effect for twenty (20) years, which aligns with the SUP Time Period Guide.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Plan recommends Industry Center for the subject property. Industry Centers provide a cluster of trade and industry that cumulatively employ large numbers of people. Operations may include such elements as semi-truck traffic, loading docks, and outdoor storage. Overall, the architecture, character, scale, and intensity should be compatible with adjacent development types. Industry centers range in scale and intensity based on the surrounding vicinity and may consist of one or more buildings. This development type includes a variety of primary and secondary uses that support the industry employment sector.

The proposal offers a supportive use to the industrial employment sector, as well as future redevelopment in the general vicinity, in that it will continue to provide cellular service to the area.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The properties surrounding the subject site are primarily zoned Industrial (IN) District and Planned Development (PD) 20-05 District. The property to the north is zoned Industrial (IN) District and is developed with an automotive repair shop. The property to the south is zoned Industrial (IN) District and is developed with auto repair and tire shop. The property to the east, across Shiloh Road, is zoned Planned Development (PD) 20-05 District and is currently used as a temporary off-site construction campus. The property to the west is zoned Industrial (IN) District and is developed with brick company storage site.

STAFF RECOMMENDATION

Approval of a Specific Use Provision renewal for Antenna, Commercial on a property zoned Industrial (IN) District.

Approval of a Plan for an Antenna, Commercial Use.

ADDITIONAL INFORMATION

- i. Location Map
- ii. Photos

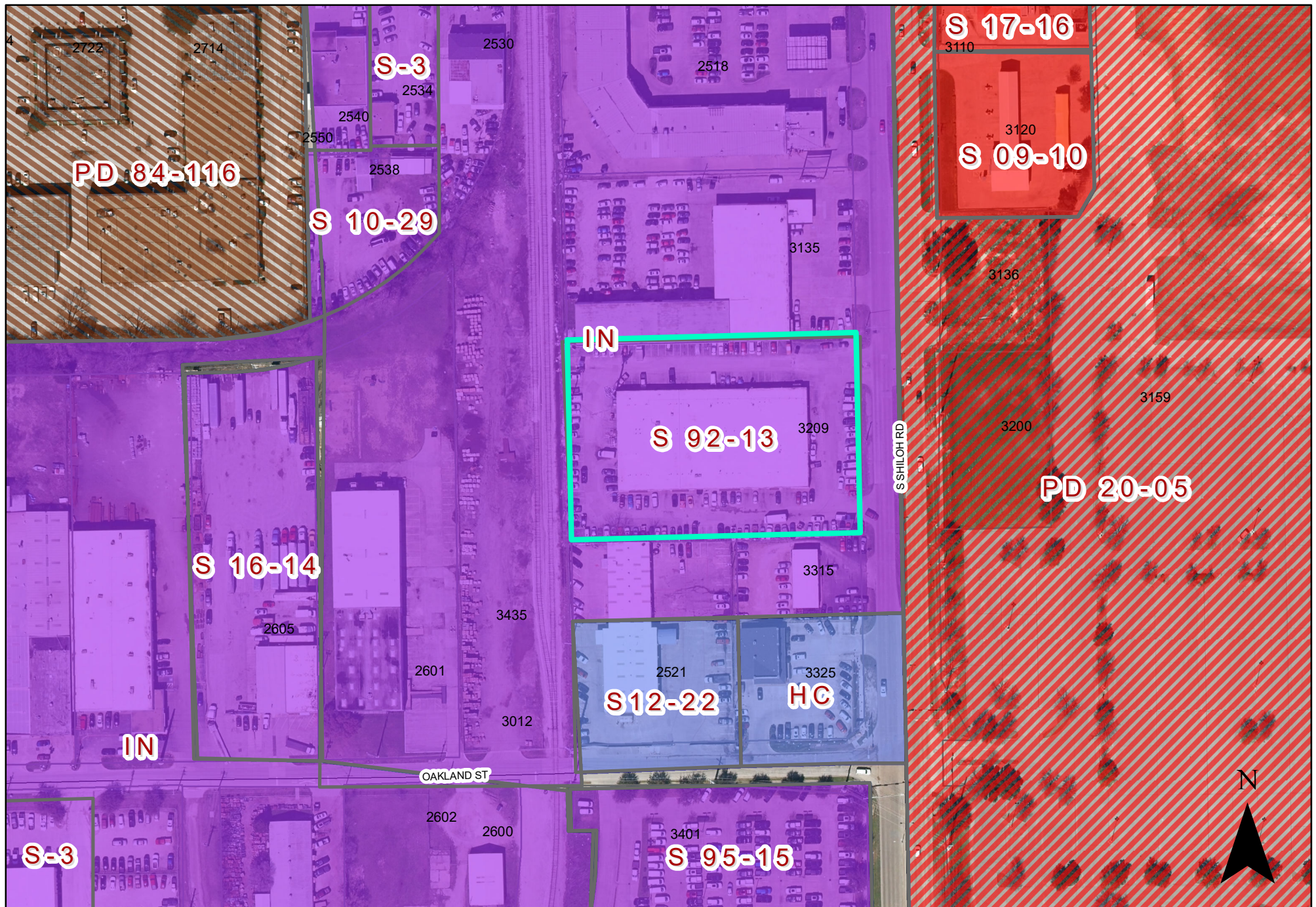
CITY COUNCIL DATE: February 1, 2022

PREPARED BY:

Kimberly Hopkins
Development Planner
Planning & Community Development
972-205-2454
khopkins@garlandtx.gov

REVIEWED BY:

Will Guerin, AICP
Director of Planning



0 100 200 Feet
1 inch = 152 feet

Zoning Map Z 21-44

3209 South Shiloh road



INDICATES AREA
OF REQUEST

SPECIFIC USE PROVISION CONDITIONS

ZONING FILE Z 21-44

3209 South Shiloh Road

- I. Statement of Purpose:** The purpose of this Specific Use Provision is to allow an Antenna, Commercial Use.
- II. Statement of Effect:** This Specific Use Provision shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. General Regulations:** All regulations of the Industrial (IN) District as set forth in Chapter 2 of the Garland Development Code, Ordinance 6773, are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. Specific Use Provision:**
- A. Site Plan: The site layout shall be in general conformance with the approved Site Plan labeled Exhibit C.
 - B. Height: The maximum height of the pole with antenna shall be seventy five (75) feet, ten (10) inches. The monopole used shall be galvanized.
 - C. Elevations: Building Elevations shall be in general conformance with the elevations labeled Exhibit D.
 - D. SUP Time Period: The Specific Use Provision shall be in effect for twenty (20) years.

Z 21-44



Existing Cell Tower on the subject site.



Looking at the subject site.



View of the subject property from South Shiloh Road.



East of the subject property along South Shiloh Road.



3209 South Shiloh Road

INDICATES AREA OF REQUEST INDICATES NOTIFICATION AREA

To date we have not received any responses for this case.



GARLAND

Plan Commission

2. b.

Meeting Date: 01/10/2022

Item Title: Z 21-44 Amro Issa - Crown Castle - Plan (District 5)

Summary:

Consideration of the application of **Amro Issa – Crown Castle**, requesting approval of a Plan for the continued use of an Antenna, Commercial. This property is located at 3209 South Shiloh Road. (District 5) (File Z 21-44 - Plan)

Attachments

Z 21-44 Armo Issa-Castle (Plan) Report and Attachments

Z 21-44 Amro Issa - Crown Castle Responses

Planning Report

File No: Z 21-44/District 5

Agenda Item:

Meeting: Plan Commission

Date: January 10, 2022



GARLAND

TEXAS MADE HERE

REQUEST

Approval of a Specific Use Provision renewal for Antenna, Commercial on a property zoned Industrial (IN) District.

Approval of a Plan for an Antenna, Commercial Use.

LOCATION

3209 South Shiloh Road

APPLICANT

Amro Issa- Crown Castle

OWNER

Mike Harrison

BACKGROUND

In 1992, City Council approved a Specific Use Provision [S 92-13] to allow a commercial antenna for wireless communications use. The applicant is proposing to renew the expired Specific Use Provision for the Antenna, Commercial.

SITE DATA

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The applicant is requesting to renew a Specific Use Provision to continue the use of the Commercial Antenna.

CONSIDERATIONS

1. The applicant proposes to continue the existing Antenna, Commercial Use on the 1.94-acre site. The applicant is not proposing any additional improvements on the existing 75'-10" tower.
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COMPREHENSIVE PLAN

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COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The properties surrounding the subject site are primarily zoned Industrial (IN) District and Planned Development (PD) 20-05 District. The property to the north is zoned Industrial (IN) District and is developed with an automotive repair shop. The property to the south is zoned Industrial (IN) District and is developed with auto repair and tire shop. The property to the east, across Shiloh Road, is zoned Planned Development (PD) 20-05 District and is currently used as a temporary off-site construction campus. The property to the west is zoned Industrial (IN) District and is developed with brick company storage site.

STAFF RECOMMENDATION

Approval of a Specific Use Provision renewal for Antenna, Commercial on a property zoned Industrial (IN) District.

Approval of a Plan for an Antenna, Commercial Use.

ADDITIONAL INFORMATION

- i. Location Map
- ii. Photos

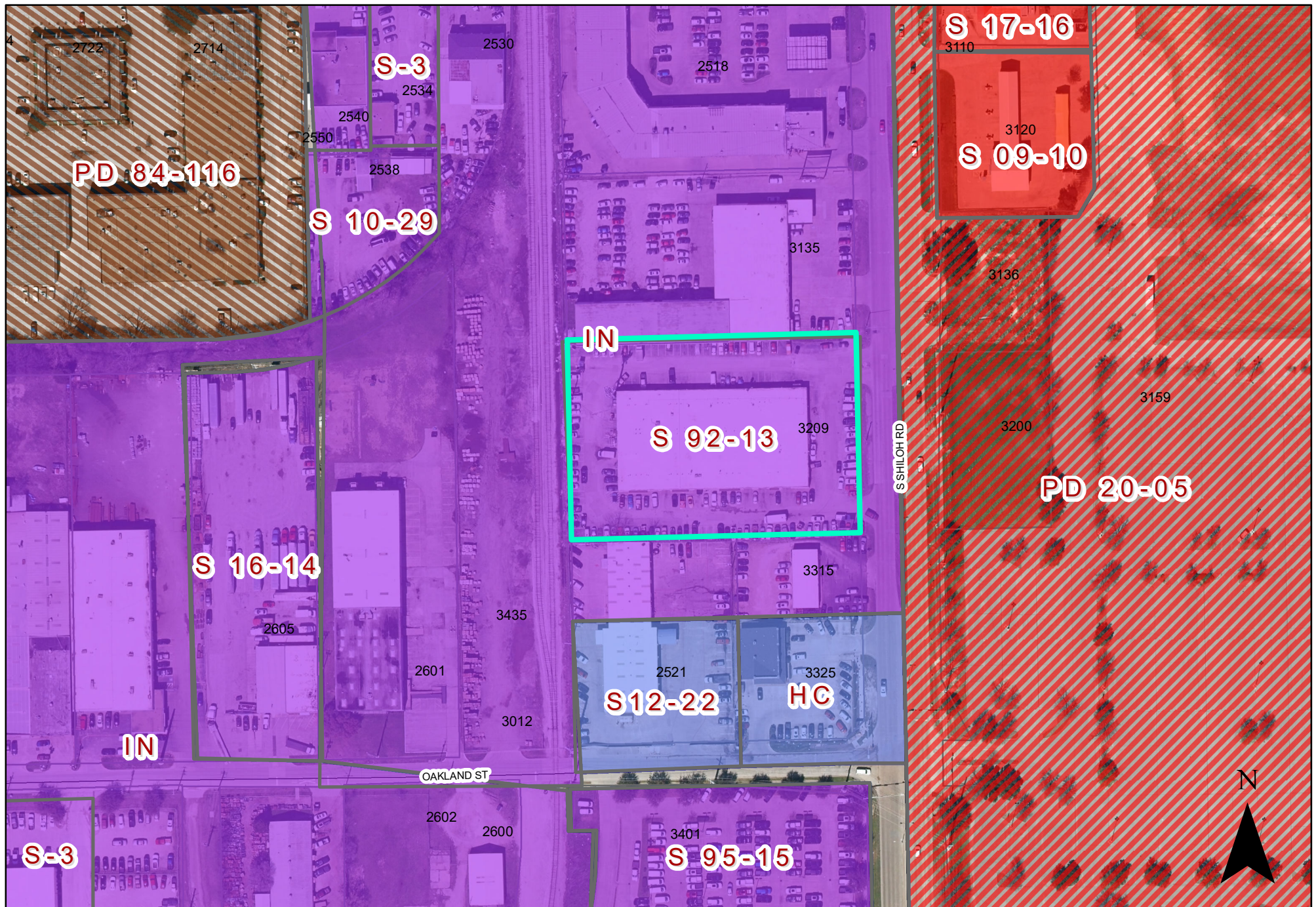
CITY COUNCIL DATE: February 1, 2022

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REVIEWED BY:

Will Guerin, AICP
Director of Planning

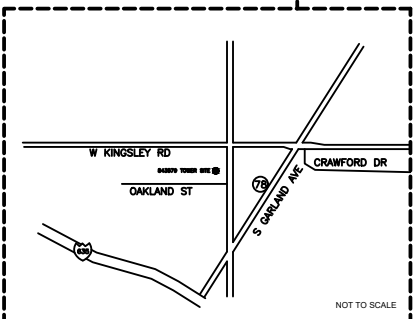
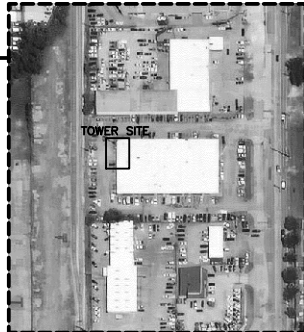


Zoning Map Z 21-44

3209 South Shiloh road



INDICATES AREA
OF REQUEST



BEING a tract of land lying and being situated in the W.W. KEENE SURVEY, Abstract No. 740, in the City of Garland, Dallas County, Texas, and being McCasland Addition No. 5 an Addition to the City of Garland as recorded in Volume 14055, Page 1101, of the Map Records, Dallas County, Texas, and being more particularly described as follows:

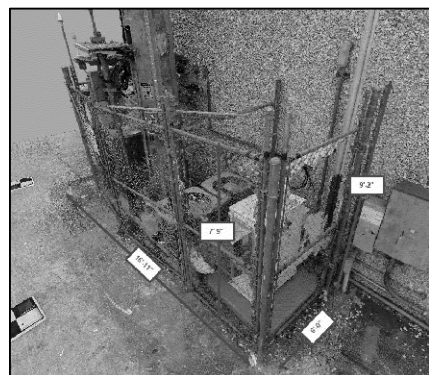
BEGINNING at a point in the West line of State Street, said point being North 248 feet from the North line of Oakland Street, an iron stake for corner;

THENCE West 349.50 foot to a point in the East line of the M.K.T. Railroad ROW an iron stake for corner;

THENCE North along the East line of said Railroad ROW 242 feet to an iron stake for corner;

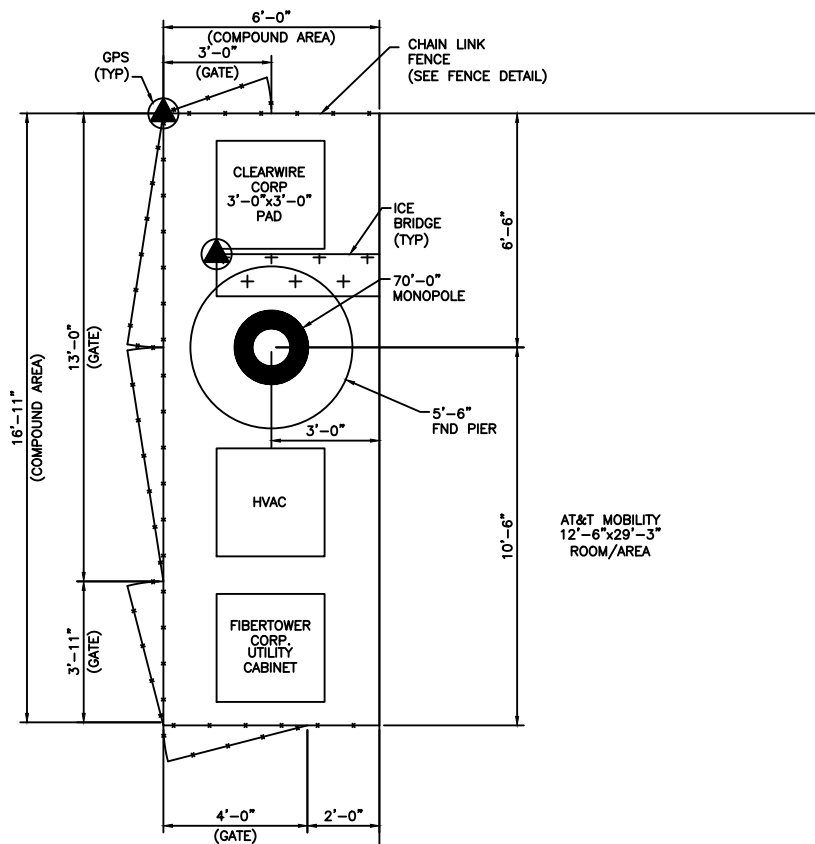
THENCE East 349.50 foot to an iron stake for corner;

THENCE South along the West line of Shiloh Road 242 feet to the POINT OF BEGINNING, containing 84,579 square feet of land.



FENCE STATUS	EXISTING
CHAIN LINK MATERIAL	GALVANIZED COATED STEEL WIRE
SUPPORT POST MATERIAL	STEEL TUBE
FENCE HEIGHT	7'-9"
SUPPORT POST HEIGHT	9'-2"

Site Data Table	
LATITUDE	32° 52' 38.27"
LONGITUDE	-96° 39' 59.87"
TOWER TYPE	GALVANIZED MONOPOLE
TOWER HEIGHT	70 FT
TOWER STATUS	EXISTING
SF OF AREA	468 SF
COUNTY	DALLAS
JURISDICTION	CITY OF GARLAND, TX
ZONING DISTRICT	IN



EXISTING BUILDING

SITE PLAN
SCALE: 3/16"=1'-0"



**CROWN
CASTLE**

8020 KATY FREEWAY
HOUSTON, TX 77024
EMERGENCY PHONE #:
800-788-7011
crowncastle.com

[illegible]

SITE NAME

SHILOH/KINGSLEY

BUSINESS UNIT NUMBER

843579

CASE NUMBER

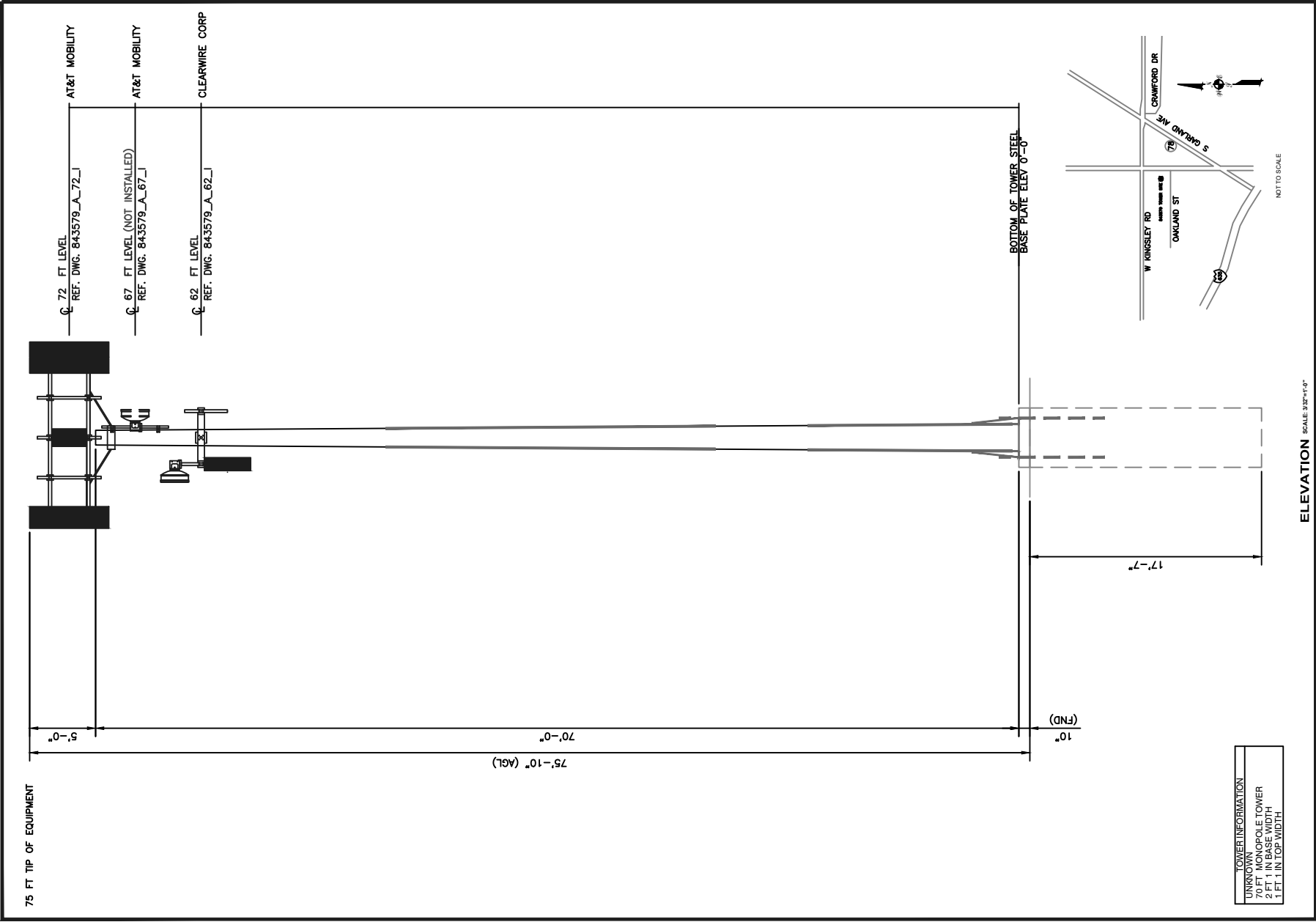
210914-3

SITE ADDRESS
3209 SHILOH
GARLAND, TX 75041
DALLAS COUNTY

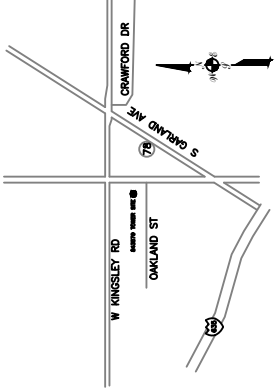
SHEET TITLE

SITE PLAN

EXHIBIT D



TO TOWER INFORMATION
UNKNOWN
70 FT MONOPOLE TOWER
2 FT 1 IN BASE WIDTH
1 FT 1 IN TOP WIDTH



ELEVATION SCALE 3/8"=1'-0"

8020 KATY FREEWAY
HOUSTON, TX 77024
EMERGENCY PHONE #:
800-788-7011
crownccastle.com

REVISIONS	NO.	DATE	BY	DESCRIPTION
	1	11/02/21	N/A	1ST SUBMITTAL
	2			
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	20			

SITE NAME

SHILOH/KINGSLEY

BUSINESS UNIT NUMBER

843579

CASE NUMBER

210914-3

SITE ADDRESS

3209 SHILOH
GARLAND, TX 75041
DALLAS COUNTY

SHEET TITLE

ELEVATION

Z 21-44



Existing Cell Tower on the subject site.



Looking at the subject site.



View of the subject property from South Shiloh Road.



East of the subject property along South Shiloh Road.

 INDICATES AREA OF REQUEST
  INDICATES NOTIFICATION AREA

To date we have not received any responses for this case.



GARLAND

Plan Commission

2. c.

Meeting Date: 01/10/2022

Item Title: Z 21-58 Summit Designs (District 3)

Summary:

Consideration of the application of **Summit Designs**, requesting approval a Change in Zoning from Agricultural (AG) District to Single-Family Estate (SF-E) District. This property is located at 5809 Lyons Road. (District 3) (File Z 21-58)

Attachments

Z 21-58 Summit Designs Report and Attachments

Z 21-58 Summit Designs Responses

Planning Report

File No: Z 21-58/District 3

Agenda Item:

Meeting: Plan Commission

Date: January 10, 2022



GARLAND

TEXAS MADE HERE

REQUEST

Approval of a Change in Zoning from Agricultural (AG) District to Single-Family Estate (SF-E) District.

LOCATION

5809 Lyons Road

APPLICANT

Summit Designs

OWNER

Alfonso Olvera

BACKGROUND

The applicant requests a zoning change from Agricultural (AG) District to Single-Family Estate (SF-E) District to allow for the construction of a single-family home. The subject property is currently undeveloped.

SITE DATA

The subject site contains approximately 0.9962 acres. The site has approximately 185 lineal feet of frontage along Lyons Road.

USE OF PROPERTY UNDER CURRENT ZONING

The subject property is zoned Agricultural (AG) District. The Agricultural (AG) District is intended for vacant land which is not yet ready for development, land which is used for agricultural or open space purposes, land which due to its topography or location within a floodplain or other undevelopable area is not anticipated to be developed for more intense use, and land which has been newly annexed into the City of Garland. The applicant proposes to change the zoning designation to Single-Family Estate (SF-E) District for a single-family home.

CONSIDERATIONS

Change in Zoning

1. The request is a traditional rezoning without the formation of a Planned Development (PD) District. These requests do not require Detail Plan approval to commence or direct development. Development is dependent on the standards set forth by the Garland Development Code (GDC) and the goals and policies established within the Envision Garland 2030 Comprehensive Plan. A Change in Zoning is not intended to restrict uses or secure development performances beyond what is permitted within the proposed zoning district and the GDC. Accordingly, the GDC requires careful consideration as to how closely the proposed district follows the policies of the Envision Garland 2030 Comprehensive Plan, and to what degree the rezoning will impact surrounding and future development.

2. The Single-Family Estate (SF-E) District is intended to provide for development of primarily low-density detached, single-family residences on a variety of lot sizes, churches, schools, and public parks in logical, livable, and sustainable neighborhoods.
3. The GDC provides the tools to ensure that development standards which promote efficient use of land and resources and which are supportive of the policies of the Comprehensive Plan are incorporated into site development, including but not limited to building and site design.
4. The intent of the request is for a single-family home on the subject property. The applicant will meet the Single-Family Estate (SF-E) District requirement, which requires a minimum lot size of 30,000 square feet as per the GDC. Although single-family homes are allowed in the Agricultural (AG) District, the minimum lot size is two (2) acres.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Plan recommends Traditional Neighborhoods for the subject property. Traditional neighborhoods are currently found throughout Garland and provide areas for low to moderate density single-family detached residential housing. Traditional neighborhoods also accommodate convenience retail (goods and services), office space, and public services.

Non-residential structures are compatible in architectural style and scale with adjacent residential development. Non-residential uses are typically located at the intersection of local streets or at local and secondary arterial streets. Non-residential uses are within walking distance of the neighborhoods they serve and include minimal on-site parking.

This use is compatible with the surrounding area and the Comprehensive Plan.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The surrounding properties are primarily zoned Agricultural (AG) District. The properties to the north are zoned Agricultural (AG) District and developed with single-family home. The property to the east, across Lyons Road, is zoned Agricultural (AG) District and developed with a single-family home. The properties to the south are zoned Agricultural (AG) District and developed with single-family detached homes. The property to the west is zoned Agricultural (AG) District and developed with a single-family detached home.

STAFF RECOMMENDATION

Staff recommends approval of a Change in Zoning from Agricultural (AG) District to Single-Family Estate (SF-E) District.

ADDITIONAL INFORMATION

- i. Location Map
- ii. Photos

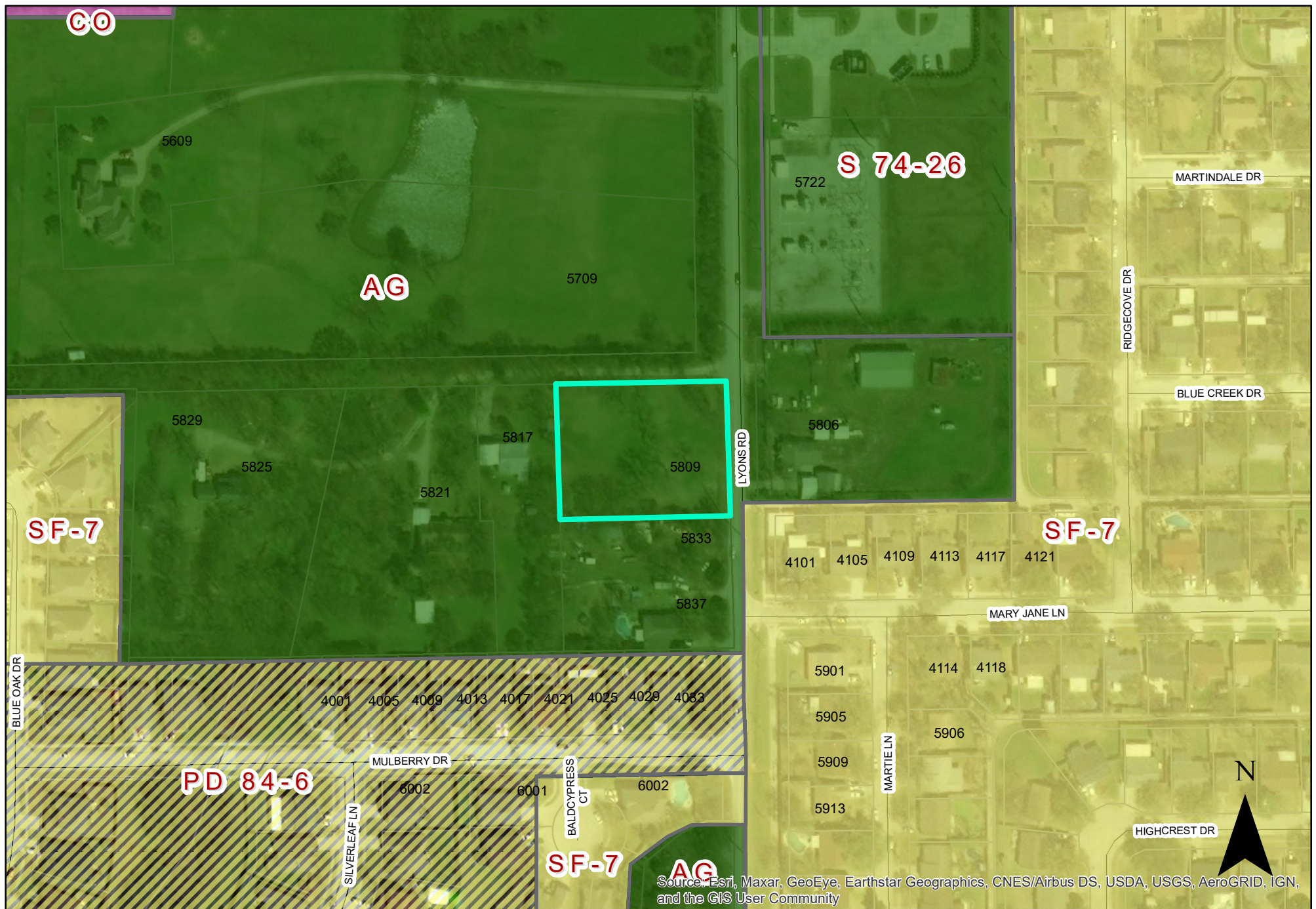
CITY COUNCIL DATE: February 1, 2022

PREPARED BY:

Kimberly Hopkins
Development Planner
Planning & Community Development
972-205-2454
khopkins@garlandtx.gov

REVIEWED BY:

Will Guerin, AICP
Director of Planning



ZONING MAP Z 21-58

5809 Lyons Rd.



INDICATES AREA
OF REQUEST

Z 21-58



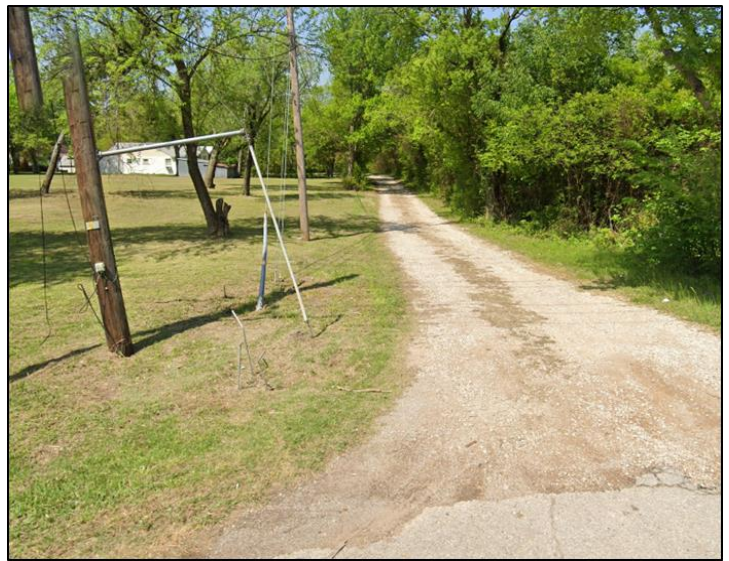
View of subject property along Lyons Road.



Property to the south along Lyons Road.



Property to the west along Lyons Road.



Property to the east along Lyons Road.



0 110 220 Feet
1 inch = 174 feet

ZONING MAP Z 21-58

5809 Lyons Road

INDICATES AREA OF REQUEST
INDICATES NOTIFICATION AREA

To date we have not received any responses for this case.



GARLAND

Plan Commission

2. d.

Meeting Date: 01/10/2022

Item Title: Z 21-61 Via Bayou, Inc. - Zoning (District 3)

Summary:

Consideration of the application of **Via Bayou, Inc.**, requesting approval of an amendment to Planned Development (PD) District 20-13 to add Recreational Vehicles to the Phase 2 area previously approved for Cabins, thus allowing both Cabins and Recreational Vehicles. This property is located at 3926 Zion Road. (District 3) (File Z 21-61 - Zoning)

Attachments

Z 21-61 Via Bayou (Zoning) Report and Attachments

Z 21-61 Via Bayou, Inc. Responses

Planning Report

File No: Z 21-61/District 3

Agenda Item:

Meeting: Plan Commission

Date: January 10, 2022



GARLAND

TEXAS MADE HERE

REQUEST

Approval of an amendment to Planned Development (PD) District 20-13 to allow Cabins and Recreational Vehicles in Phase 2.

Approval of a Detail Plan for Cabins and Recreational Vehicles on a property zoned Planned Development (PD) District 20-13

LOCATION

3926 Zion Road

APPLICANT

Via Bayou Inc.

OWNER

Via Bayou Inc.

BACKGROUND

In 2020, City Council approved a Detail Plan for Recreational Vehicle Park Phase II Cabins on a site zoned Planned Development (PD) District 18-36 for Light Commercial (LC) District Uses Limited to Recreational Vehicle Park. In addition, the Planned Development (PD) District 20-13 precludes additional RV parking in Phase 2 and limits Phase 2 to Cabin use only. Phase I of the Recreational Vehicle Park was approved in 2018 and is currently under construction. Phase I includes RV pads, an office building, manager/caretakers quarters and a clubhouse.

The applicant proposes to add Recreational Vehicles (RV's) to Phase 2, which were previously approved for cabins at the Lakeshore RV Resort. The applicant requests that cabins still be allowed but that RV's be allowed as a permissible use as well; therefore, if approved, Phase 2 may be used for either cabins or recreational vehicles.

SITE DATA

The subject property has an area of 1.01 acres with 122 lineal feet of frontage along Zion Road. Access to this site is through the Phase 1 site, which provides access to both Zion Road and East I-30 Freeway.

USE OF PROPERTY UNDER CURRENT ZONING

The subject site is zoned Planned Development (PD) District 20-13 with a base zoning of Light Commercial (LC) District. The LC District is intended to provide locations for commercial and service-related establishments. Convenient access to major thoroughfares and other transportation systems is a primary consideration for the types of uses that are found in the Commercial districts.

CONSIDERATIONS

1. In 2020 a Detail Plan was approved (PD 20-13) which consisted of eighteen (18) cabins in Phase 2 of the Recreational Vehicle Park. The applicant has submitted an amended PD and Detail Plan application to request the ability to have Recreational Vehicles on the eighteen (18) pads in Phase 2 of the Recreational Vehicle resort development. As mentioned above, if approved, the pads may be used for cabins or recreational vehicles.
2. Recreational Vehicle Parks are subject to Special Standards stipulated in the GDC. The Special Standards include but are not limited to thoroughfare access, site development elements, accessory uses, and amenities. The proposed Detail Plan complies with the Special Standards as approved in Planned Development (PD) District 18-36 and Planned Development (PD) District 20-13.

In addition to the RV Pads in Phase 1 and the Cabins/ RV Pads in Phase 2, the Recreational Park will provide spaces for the following accessory uses as a unified development (for both phases):

- Manager/caretaker residence
- Self-service laundry facility
- Guard/entry structure (gates)
- Snack shop
- Restroom/bathing facility

Furthermore, the following amenities will be provided:

- Swimming pool
- Fitness center/exercise facility
- Business center
- Community center/club house
- Dog park
- Picnic/grilling area

The Recreational Park provides these amenities in Phase 1 as approved in Planned Development (PD) District (PD) 18-36.

3. The applicant is not proposing additional parking or new structures with this request. Therefore, the landscaping complies with the requirements of PD 20-13. The cabin building design will remain the same as per PD 20-13.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Plan recommends Regional Centers for the subject property. Regional Centers include a mix of uses, include retail, services, entertainment, and employment uses, as well as a residential component and public gathering or open space. They include compact, walkable site design; landscape plantings and street furniture; along with other elements of the public realm. Regional Centers incorporate pedestrian and transit as a part of internal circulation and provides amenities for their use such as bike racks, bus shelters and benches.

Additionally, the subject site falls under the I-30 Catalyst Area Plan. The land use map in that Plan identifies the site for Regional Center use as described in the Envision Garland Plan. Further the site is located within the Harbor Point Targeted Investment Area extending from the North George Bush Turnpike to Lake Ray Hubbard. The vision for land use is for

infill with additional housing options, urban mixed-use character, shops, restaurants, and multiple plazas to encourage gathering and outdoor activities.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The properties to the east are zoned for single-family uses; the adjacent property is unimproved and further east are existing single-family dwellings. To the north across Zion Road is a public park area zoned Agricultural (AG) District which fronts Lake Ray Hubbard. To the west of the subject property is the Phase 1 Recreational Vehicle Park which is under construction. To the south and southeast of the subject property is a property zoned for Multi-Family uses and developed with an apartment complex.

Additionally, the subject property is located approximately 0.7 miles from Bass Pro Development. Its proximity to Bass Pro Development, along with its adjacency to Lake Ray Hubbard, makes the subject property desirable and fitting for the development of the overall Recreational Vehicle resort.

STAFF RECOMMENDATION

Typically, staff provides a recommendation on development applications based on an analysis of compliance with the GDC, harmony with the Comprehensive Plan, and compatibility with surrounding uses. In the case of this application, which includes the request for flexibility to provide additional recreational vehicles rather than cabins only, the decision to approve or deny rests primarily on a subjective review of allowing up to eighteen (18) additional RV's in Phase 2 while cabins would still be allowed.

The Council, through the approval of PD 18-36, has found that a recreational vehicle resort is a suitable use for the overall property, including exclusively recreational vehicles in Phase 1. Subsequently in 2020, Council approved the Phase 2 Detail Plan for cabins only [PD 20-13]. The applicant contends that the cabin use is not feasible at this time and that allowing additional recreational vehicles for the eighteen (18) available pads in Phase 2 would make the overall project more successful early on.

The main consideration of the applicant's request lies in the compatibility of additional RV's. Less tangible, qualitative factors far outweigh any technical, objective analysis that staff could provide the Commission regarding recreational vehicles versus cabin rentals within the same RV Resort. Therefore, staff recommends that the Plan Commission hold a public hearing and consider the request. The Plan Commission may consider the Planned Development and Detail Plan amendments and make a recommendation to the City Council to approve or deny the request.

ADDITIONAL INFORMATION

- i. Location Map
- ii. Exhibits
- iii. Photos

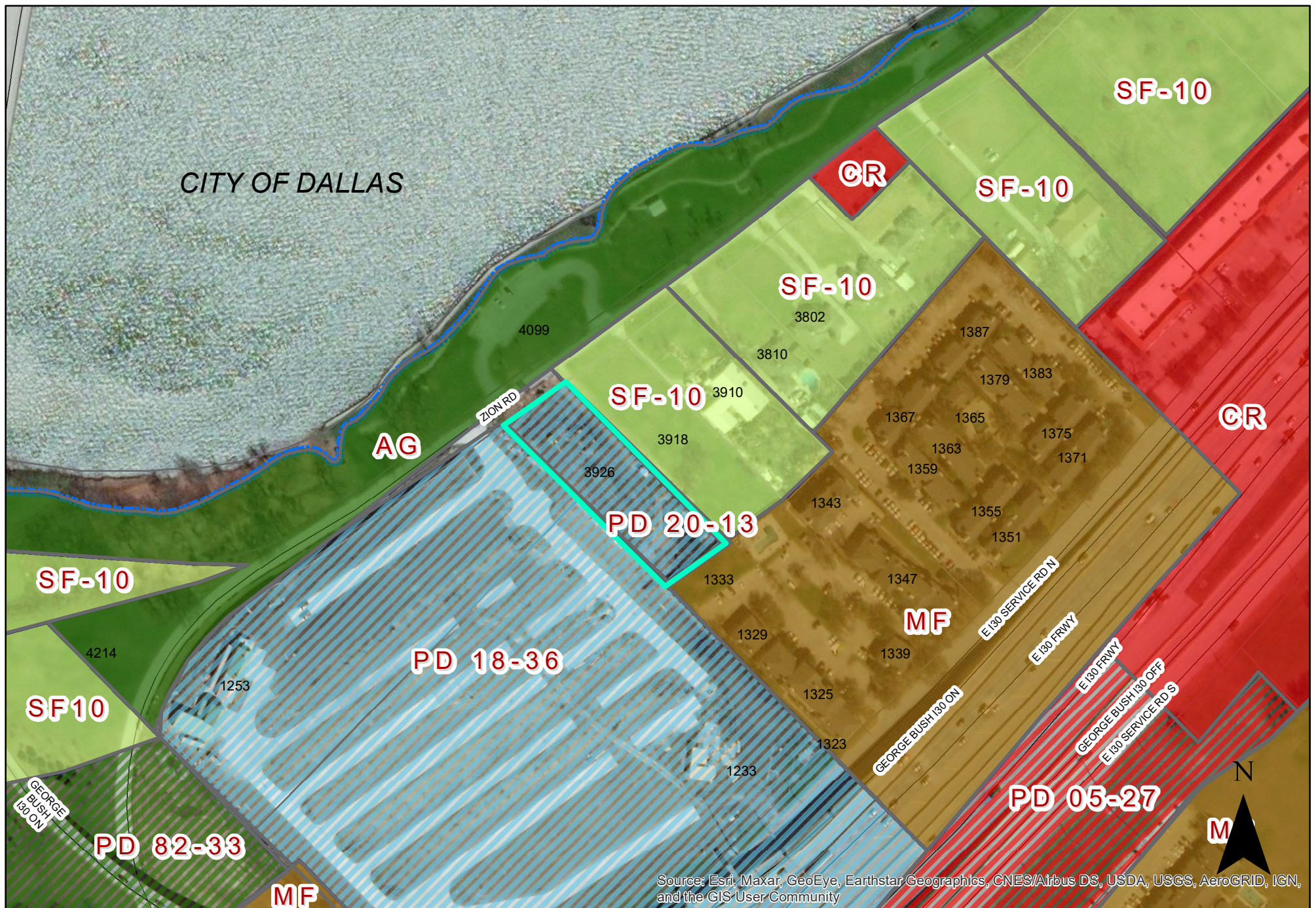
CITY COUNCIL DATE: February 1, 2022

PREPARED BY:

Kimberly Hopkins
Development Planner
Planning & Community Development
972-205-2454
khopkins@garlandtx.gov

REVIEWED BY:

Will Guerin, AICP
Director of Planning



0 130 260 Feet
1 inch = 204 feet

ZONING MAP Z 21-61

3926 Zion Rd.

INDICATES AREA OF REQUEST

EXHIBIT B

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE Z 21-61

3926 Zion Road

- I. Statement of Purpose:** The purpose of this Planned Development District is to amend the Planned Development (PD) District 20-13 to allow Recreational Vehicles in Phase II (Cabins and RV's) of a Recreational Vehicle Park subject to conditions.
- II. Statement of Effect:** This Planned Development shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773 and Planned Development (PD) District 20-13, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. General Regulations:** All regulations as set forth in Planned Development (PD) District 20-13 and the Garland Development Code are included by reference and shall apply, except as otherwise specified by this ordinance. To the extent of any conflict between this ordinance and the Garland Development Code, the more restrictive provision shall control.
- IV. Development Plan:**
- A. Detail Plan: Development shall conform to the Detail Plan set forth in Exhibits C; and incorporated herein by reference. To the extent of any conflict between the approved Detail Plan and the Specific Regulations below, the more restrictive provision shall control.
- V. Specific Regulations:**
- A. Permitted Uses: All uses are prohibited except as follows:
- (1) Recreational Vehicle Park for Cabins and RV's on Phase 2. Cabins and RV's are the only type of use allowed on Phase 2.
 - (2) Collectively, the Recreational Park for Recreational Vehicles (Phase 1 located west of the Phase 2 site) and the Recreational Vehicle Park for Cabins and RV's (Phase 2) may be referred to as the "Recreational Park". Cabins are not allowed in Phase 1 of the Recreational Park.

VI. Specific Regulations:

A. Site Layout: The site shall be in conformance to the layout reflected on Exhibit C.

B. Maintenance requirements:

- (1) Landscaping must be continuously maintained in a healthy, growing condition and in compliance with this ordinance, the Garland Development Code, the Code of Ordinances of the City of Garland, and the landscaping plan attached hereto at all times. The property owner is responsible for regular weeding, mowing of grass, irrigation, fertilizing, pruning, or other maintenance of all landscaping as promptly as needed to comply with the requirements of this subsection. All exposed ground surfaces in the Recreational Park shall be properly improved, covered with screening or other approved solid material, or protected with a vegetative growth that prevents soil erosion and ameliorates objectionable dust conditions.
- (2) Any dead or dying plant or vegetation, whether or not a component of required landscaping, must be promptly replaced with another approved plant or vegetation variety that complies with the approved landscape plan and in no event later than sixty days after notification by the City. In the event the property owner fails to remedy a violation of any landscaping maintenance regulation within sixty days of the City sending notice, the City may, in addition to any other remedy available by law, suspend, withhold, or revoke city permits, approvals, consents and the certificate of occupancy for the recreational vehicle park. See Section 4 of the granting ordinance.

Screening and paving must be installed and continuously maintained in compliance with this ordinance, the Garland Development Code, and the Code of Ordinances of the City of Garland at all times. The property owner is responsible for regular maintenance of all screening and paving as needed. In the event

the property owner fails to remedy a violation of any screening or paving maintenance regulation within sixty days of the City sending notice, the City may, in addition to any other remedy available by law, suspend, withhold, or revoke city permits, approval, consents and the certificate of occupancy for the Recreational Park.

C. Length of stay limitation:

- (1) Nothing contained in this ordinance is intended or may be construed to authorize the use of the property as a permanent residence for any person. Users of the Recreational Park including licensees, guests, or other occupants of the Recreational Park shall not occupy, rent, or use any portion of the Recreational Park for periods greater than either of the following:
 - (a) Sixty (60) consecutive calendar days; or
 - (b) One hundred eighty (180) calendar days within a one-year period.

In the event a person stays for a period of 60 consecutive days, such person shall not occupy, rent, or use any portion of the Recreational Park for a minimum of five days following the date the person checked out of the park.

- (2) Motor vehicles, boats, trailers, or temporary structures shall not remain in the Recreational Park for periods greater than the occupancy periods established by above subsection (H)(1).
- (3) Check-in and check-out days shall be included in the occupancy period calculation.
- (4) Access to and occupancy of the Recreational Park shall be offered as a license only, creating no tenancy rights, and may only be licensed by the day or the week (subject to the occupancy periods in subsection (1)).

D. Water and wastewater systems:

- (1) Adequately sized circulating looped water lines approved by the City shall be installed and connected to the City system, at the owner's expense, for domestic use and fire protection.
- (2) Adequately sized sanitary sewer lines approved by the City to dispose of sanitary wastes shall be installed and connected to the City sanitary sewer system at the owner's expense.

E. Driveways and interior roads:

- (1) General requirements. The Recreational Park shall provide safe and convenient vehicular access from abutting public streets or roads to the internal parking area or cabin sites. All drives, parking areas, and internal streets shall be constructed of reinforced concrete and designed and constructed in accordance with the *City's Technical Standards*.
- (2) Lighting. Driveways, interior roadways, and cabin sites shall be illuminated with uniform lighting units in conformance with a lighting plan submitted pursuant to Section 4.88 of the Garland Development Code and in compliance with the provisions of Chapter 4, Article 7 of the Garland Development Code.

F. Vehicles:

- (1) All vehicles on-site must be registered and in operable condition.

Z 21-61



View of property east of subject site.



View of Zion Road Frontages looking west towards the subject site on the left beyond the fence.



View of Zion Road with subject site on the right.



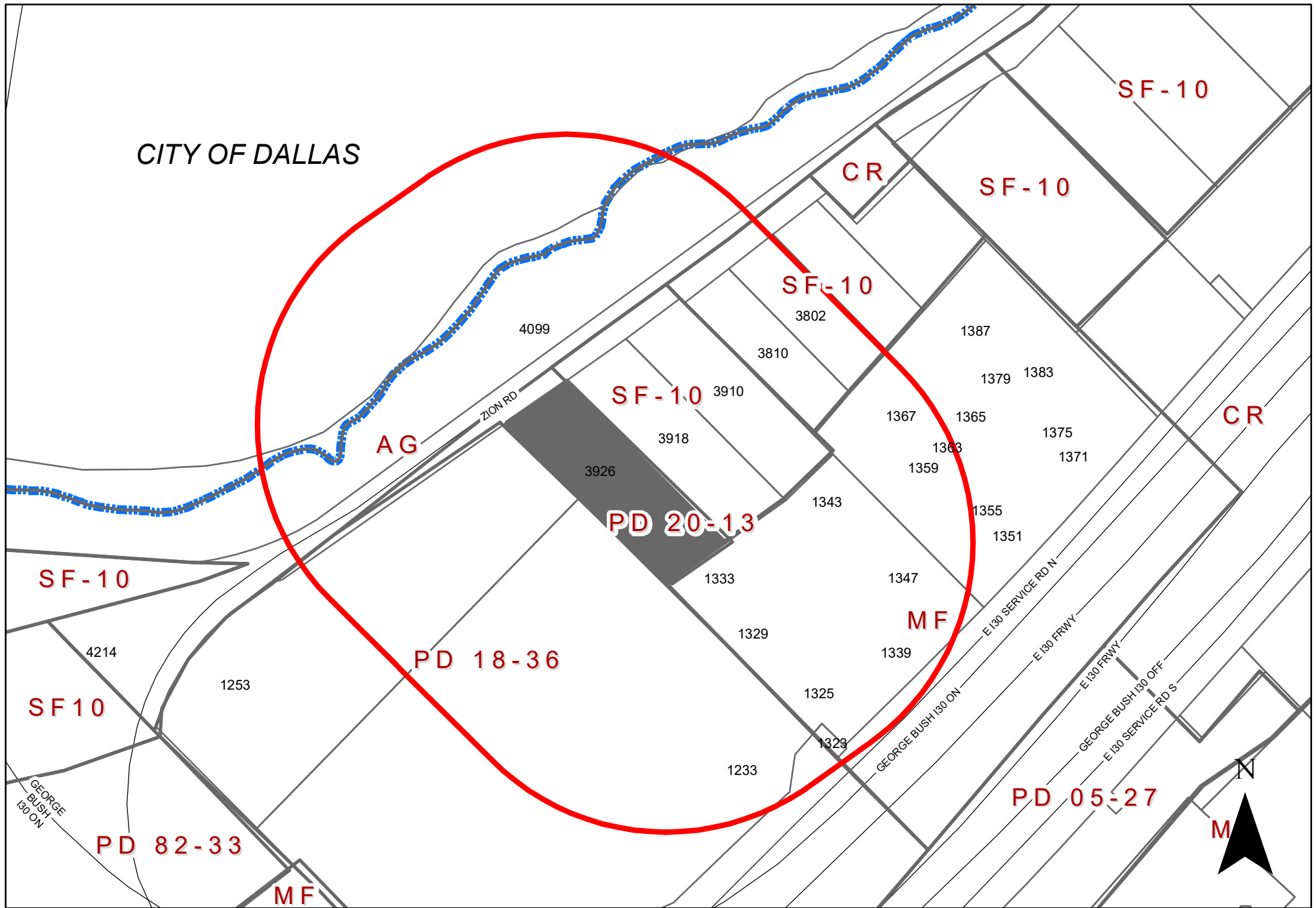
View of park located north of the subject site.



View of the site currently under construction.



View of the site clubhouse under construction.



ZONING MAP Z 21-61

3926 Zion Road

To date we have not received any responses for this case.



GARLAND

Plan Commission

2. e.

Meeting Date: 01/10/2022

Item Title: Z 21-61 Via Bayou, Inc. - Detail Plan (District 3)

Summary:

Consideration of the application of **Via Bayou, Inc.**, requesting approval of a Detail Plan to allow Cabins and Recreational Vehicles in Phase 2 of Planned Development (PD) District 20-13. This property is located at 3926 Zion Road. (District 3) (File Z 21-61 – Detail Plan)

Attachments

Z 21-61 Via Bayou, Inc. (Detail Plan) Report and Attachments

Z 21-61 Via Bayou, Inc. Responses

Planning Report

File No: Z 21-61/District 3

Agenda Item:

Meeting: Plan Commission

Date: January 10, 2022



GARLAND

TEXAS MADE HERE

REQUEST

Approval of an amendment to Planned Development (PD) District 20-13 to allow Cabins and Recreational Vehicles in Phase 2.

Approval of a Detail Plan for Cabins and Recreational Vehicles on a property zoned Planned Development (PD) District 20-13

LOCATION

3926 Zion Road

APPLICANT

Via Bayou Inc.

OWNER

Via Bayou Inc.

BACKGROUND

In 2020, City Council approved a Detail Plan for Recreational Vehicle Park Phase II Cabins on a site zoned Planned Development (PD) District 18-36 for Light Commercial (LC) District Uses Limited to Recreational Vehicle Park. In addition, the Planned Development (PD) District 20-13 precludes additional RV parking in Phase 2 and limits Phase 2 to Cabin use only. Phase I of the Recreational Vehicle Park was approved in 2018 and is currently under construction. Phase I includes RV pads, an office building, manager/caretakers quarters and a clubhouse.

The applicant proposes to add Recreational Vehicles (RV's) to Phase 2, which were previously approved for cabins at the Lakeshore RV Resort. The applicant requests that cabins still be allowed but that RV's be allowed as a permissible use as well; therefore, if approved, Phase 2 may be used for either cabins or recreational vehicles.

SITE DATA

The subject property has an area of 1.01 acres with 122 lineal feet of frontage along Zion Road. Access to this site is through the Phase 1 site, which provides access to both Zion Road and East I-30 Freeway.

USE OF PROPERTY UNDER CURRENT ZONING

The subject site is zoned Planned Development (PD) District 20-13 with a base zoning of Light Commercial (LC) District. The LC District is intended to provide locations for commercial and service-related establishments. Convenient access to major thoroughfares and other transportation systems is a primary consideration for the types of uses that are found in the Commercial districts.

CONSIDERATIONS

1. In 2020 a Detail Plan was approved (PD 20-13) which consisted of eighteen (18) cabins in Phase 2 of the Recreational Vehicle Park. The applicant has submitted an amended PD and Detail Plan application to request the ability to have Recreational Vehicles on the eighteen (18) pads in Phase 2 of the Recreational Vehicle resort development. As mentioned above, if approved, the pads may be used for cabins or recreational vehicles.
2. Recreational Vehicle Parks are subject to Special Standards stipulated in the GDC. The Special Standards include but are not limited to thoroughfare access, site development elements, accessory uses, and amenities. The proposed Detail Plan complies with the Special Standards as approved in Planned Development (PD) District 18-36 and Planned Development (PD) District 20-13.

In addition to the RV Pads in Phase 1 and the Cabins/ RV Pads in Phase 2, the Recreational Park will provide spaces for the following accessory uses as a unified development (for both phases):

- Manager/caretaker residence
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- Guard/entry structure (gates)
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- Restroom/bathing facility

Furthermore, the following amenities will be provided:

- Swimming pool
- Fitness center/exercise facility
- Business center
- Community center/club house
- Dog park
- Picnic/grilling area

The Recreational Park provides these amenities in Phase 1 as approved in Planned Development (PD) District (PD) 18-36.

3. The applicant is not proposing additional parking or new structures with this request. Therefore, the landscaping complies with the requirements of PD 20-13. The cabin building design will remain the same as per PD 20-13.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Plan recommends Regional Centers for the subject property. Regional Centers include a mix of uses, include retail, services, entertainment, and employment uses, as well as a residential component and public gathering or open space. They include compact, walkable site design; landscape plantings and street furniture; along with other elements of the public realm. Regional Centers incorporate pedestrian and transit as a part of internal circulation and provides amenities for their use such as bike racks, bus shelters and benches.

Additionally, the subject site falls under the I-30 Catalyst Area Plan. The land use map in that Plan identifies the site for Regional Center use as described in the Envision Garland Plan. Further the site is located within the Harbor Point Targeted Investment Area extending from the North George Bush Turnpike to Lake Ray Hubbard. The vision for land use is for

infill with additional housing options, urban mixed-use character, shops, restaurants, and multiple plazas to encourage gathering and outdoor activities.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The properties to the east are zoned for single-family uses; the adjacent property is unimproved and further east are existing single-family dwellings. To the north across Zion Road is a public park area zoned Agricultural (AG) District which fronts Lake Ray Hubbard. To the west of the subject property is the Phase 1 Recreational Vehicle Park which is under construction. To the south and southeast of the subject property is a property zoned for Multi-Family uses and developed with an apartment complex.

Additionally, the subject property is located approximately 0.7 miles from Bass Pro Development. Its proximity to Bass Pro Development, along with its adjacency to Lake Ray Hubbard, makes the subject property desirable and fitting for the development of the overall Recreational Vehicle resort.

STAFF RECOMMENDATION

Typically, staff provides a recommendation on development applications based on an analysis of compliance with the GDC, harmony with the Comprehensive Plan, and compatibility with surrounding uses. In the case of this application, which includes the request for flexibility to provide additional recreational vehicles rather than cabins only, the decision to approve or deny rests primarily on a subjective review of allowing up to eighteen (18) additional RV's in Phase 2 while cabins would still be allowed.

The Council, through the approval of PD 18-36, has found that a recreational vehicle resort is a suitable use for the overall property, including exclusively recreational vehicles in Phase 1. Subsequently in 2020, Council approved the Phase 2 Detail Plan for cabins only [PD 20-13]. The applicant contends that the cabin use is not feasible at this time and that allowing additional recreational vehicles for the eighteen (18) available pads in Phase 2 would make the overall project more successful early on.

The main consideration of the applicant's request lies in the compatibility of additional RV's. Less tangible, qualitative factors far outweigh any technical, objective analysis that staff could provide the Commission regarding recreational vehicles versus cabin rentals within the same RV Resort. Therefore, staff recommends that the Plan Commission hold a public hearing and consider the request. The Plan Commission may consider the Planned Development and Detail Plan amendments and make a recommendation to the City Council to approve or deny the request.

ADDITIONAL INFORMATION

- i. Location Map
- ii. Exhibits
- iii. Photos

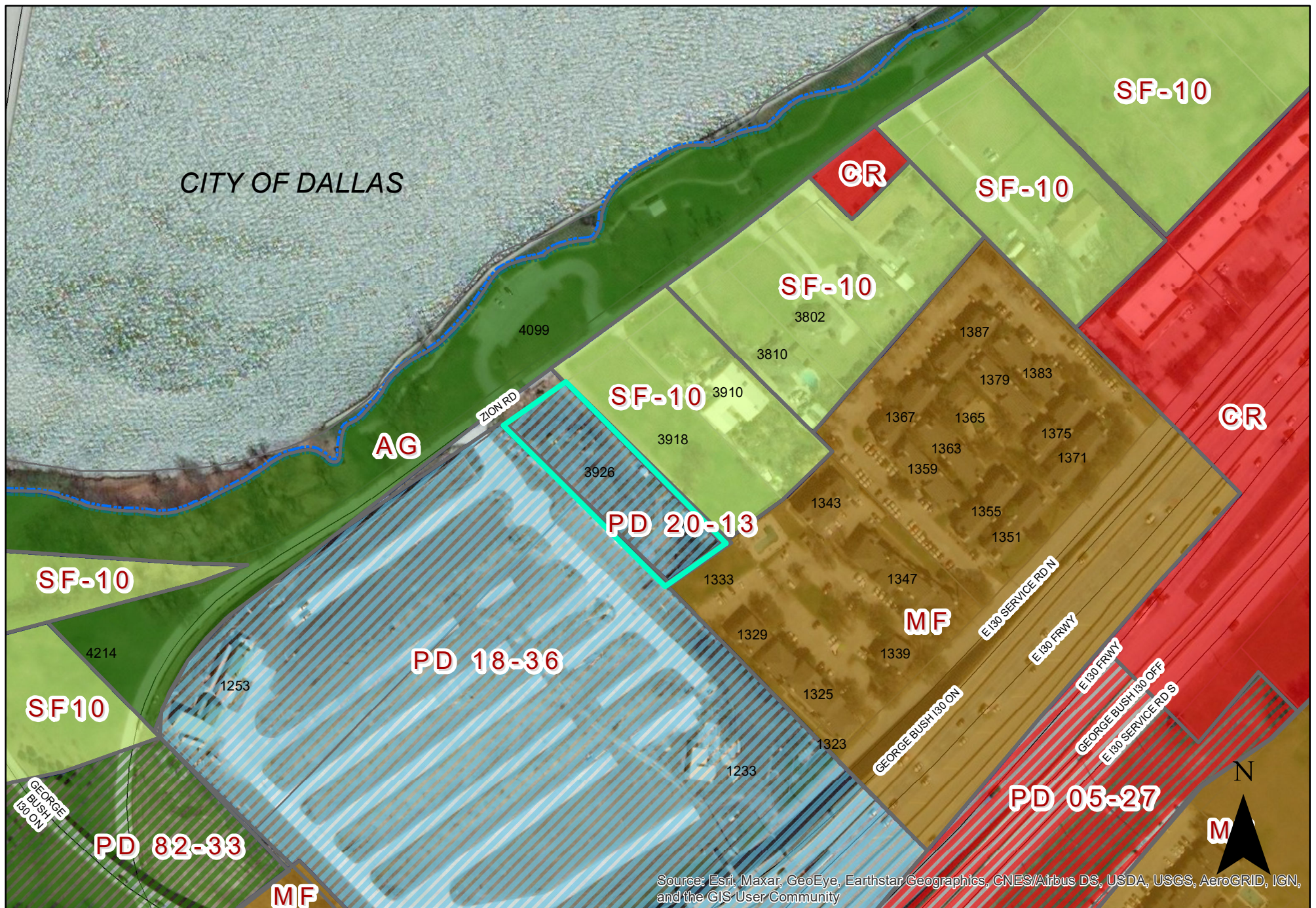
CITY COUNCIL DATE: February 1, 2022

PREPARED BY:

Kimberly Hopkins
Development Planner
Planning & Community Development
972-205-2454
khopkins@garlandtx.gov

REVIEWED BY:

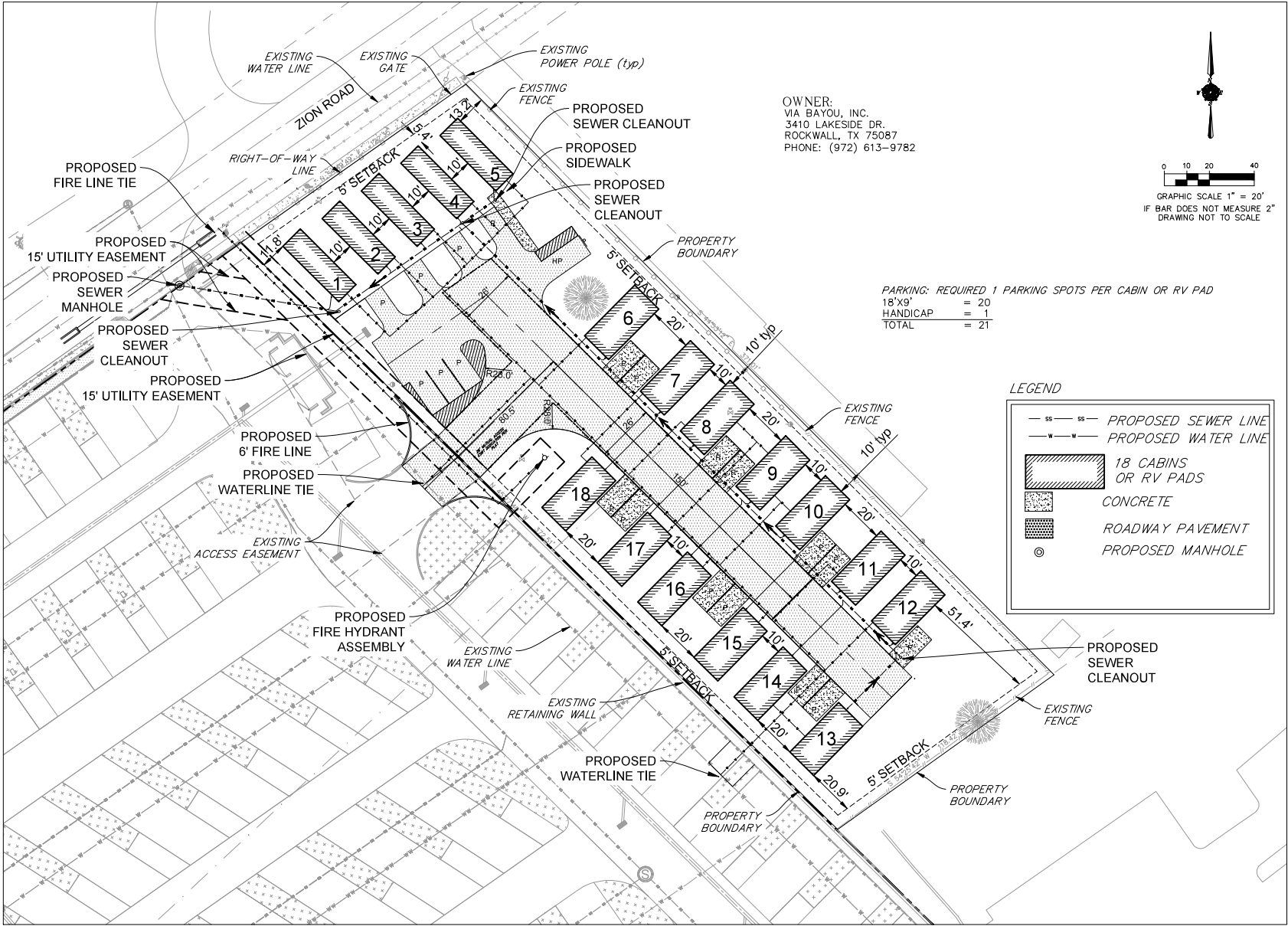
Will Guerin, AICP
Director of Planning



ZONING MAP Z 21-61

3926 Zion Rd.

EXHIBIT C



CASE NO. 200409-2

12/13/2021



ERIC L. DAVIS ENGINEERING, INC.
P-3987
120 East Main Street
Rockwall, Texas 75087
972/564-0592 • Fax 972/564-6523
E-Mail: eric.davis@eidengineering.com

LAKESHORE RV PARK
PHASE II
SITE PLAN
ENGINEERED FOR
VIA BAYOU, INC.

BUILDER: VIA BAYOU, INC.	PLAN: SITE PLAN
	ELD JOB NO.: 2073
	DRAWN BY: JPH
	FIRM REGISTRATION #: 3987
ADDRESS: 1233 INTERSTATE 30 LOT: 1 BLOCK: 1	
	CITY: GARLAND, TX

SCALE: 1" = 20'

SHEET

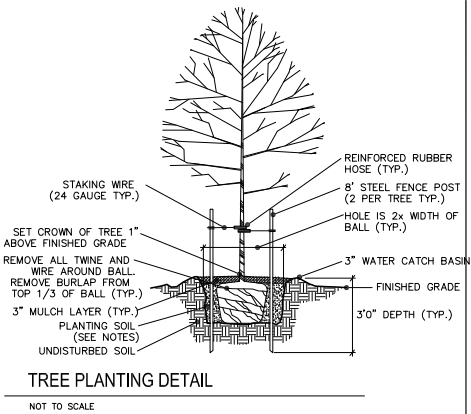
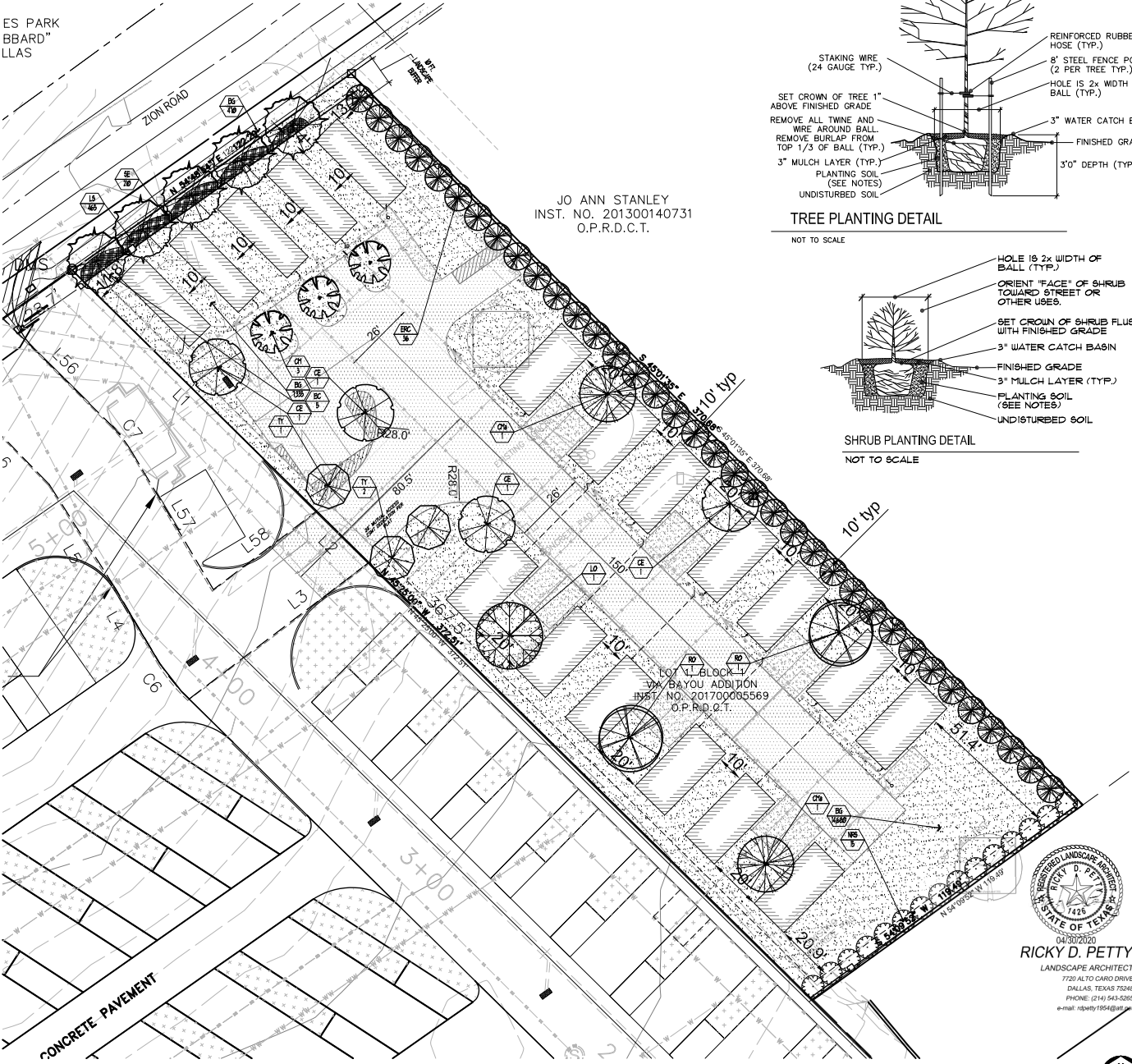


PLANT SCHEDULE					
ABB	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	NOTES
Shade Trees					
BC	Taxodium distichum	Bald Cypress	5 EA.	#65, 3" cal. Min., 14' Ht. min., 6' Spread min.	Container., Single trunk, Well branched with Central Leader, 6' branching height
CE	Ulmus crassifolia	Cedar Elm	4 EA.	#65, 3" cal. Min., 14' Ht. min., 6' Spread min.	Container., Single trunk, Well branched with Central Leader, 6' branching height
Cma	Acer saccharum var. caddo	Caddo Maple	2 EA.	#65, 3" cal. Min., 14' Ht. min., 6' Spread min.	Container., Single trunk, Well branched with Central Leader, 6' branching height
LO	Quercus virginiana	Live Oak	1 EA.	#65, 3" cal. Min., 14' Ht. min., 6' Spread min.	Container., Single trunk, Well branched with Central Leader, 6' branching height
RO	Quercus shumardii	Shumard's Red Oak	2 Ea.	#65, 3" cal. Min., 14' Ht. min., 6' Spread min.	Container., Single trunk, Well branched with Central Leader, 6' branching height
Ornamental Trees					
CM	Lagerstroemia indica 'Watermelon Red'	Crape myrtle - 'Watermelon Red'	3 EA.	#15, 6 Ft. min. Ht., 3 Ft. min. spread	Container, Multi-trunk, 3 to 5 canes, 1" cal. Cane. Min., Well Branched
TY	Ilex vomitoria	Tree Yaupon Holly	3 EA.	#15, 6 Ft. min. Ht., 3 Ft. min. spread	Container, Multi-trunk, 3 to 5 canes, 1" cal. Cane. Min., Well Branched, Berried
Screening Plants					
ERC	Juniperus virginiana 'Slag'	Eastern Red Cedar 'Slag'	26 EA.	#15, 48" min. Ht., 36" min. spread	Container, Well branched full to ground, Speciman, Plant 10 Ft. O.C.
NRS	Ilex 'Nellie R. Steven'	Nellie R. Stevens Holly	15 EA.	#15, 48" min. Ht., 36" min. spread	Container, Well branched full to ground, Speciman, Plant 8 Ft. O.C.
Groundcover					
LS	Liriope spicata	Creeping Liriope	465 EA.	4" Pots	Container, Full, 3-12" Long Bibbs minimum, Plant 12" O.C.
Lawn Grasses					
BG	Cynodon dactylon	Bermuda Grass	22,485 Sq. Ft.	Hydromulch	Apply at rate of 4 lbs. per 1,000 sq. ft. with tackifier

Landscape Requirements		
ITEM	REQUIRED	PROVIDED
Total Landscape Area		
Landscape Area: 10% of Site (44,277.2 Sq. Ft.)	4,427.8 Sq. Ft.	23,015 Sq. Ft.
Landscape Buffer		
Zion Road	5 Ft. Width	5 Ft. Width
1 Canopy Tree per 30 Ln. Ft. (122.29 Ln. Ft.)	4 Ea.	5 Ea.
East and South	5 Ft. Width	5 Ft. Width
Screening Plants	Yes	Yes with Eastern Red Cedar and Nellie R. Stevens Holly
Parking Area Landscape		
1 Canopy Tree within 60 ft. of every parking space	Yes	Yes
1 Canopy Tree per 10 Parking Spaces (21 Ea.)	3	9
Screening		
Zion Road: 6 Ft. Ht. Metal Picket Fence w/ Stone Columns at 50 Ft. O. C.	Yes	Yes
East and South: 6 Ft. Ht. Board on Board Solid Cedar Fence w/ Stone Columns at 50 Ft. O. C.	Yes	Yes

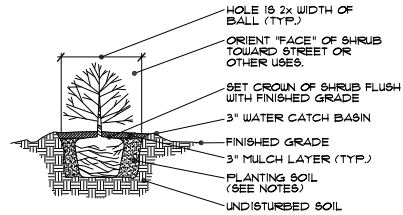
- PLANTING NOTES:**
- Submit a construction schedule of work to be approved by Landscape Architect and Owner. Failure to submit schedule may result in Landscape Architect stopping construction until submitted. No extensions of time will be considered for failure to promptly submit schedule.
 - Notify Landscape Architect 48 hours in advance of commencement of work to coordinate project inspection schedules.
 - Locate existing underground utilities and obstructions prior to commencing work. Repair damage to utilities resulting from the installation of the work at no additional cost to Owner.
 - Notify Landscape Architect immediately upon encountering any unknown obstructions, grade differences or conditions not indicated on drawings. Make necessary revisions as required to conform to plans and specifications due to failure to give such notification.
 - Coordinate with other trades and subcontractors as required to accomplish the planting operation.
 - Plant material shall be tagged or approved at site by Landscape Architect prior to installation. Install plant material free of pest and diseases. Guarantee plant material for a period of 365 calendar days from date of issuance of final acceptance by Landscape Architect.
 - Landscape Architect of layout conflicts. Failure to notify Landscape Architect will result in Contractor's liability to relocate materials at no additional expense to Owner.
 - Excavate bed areas to a depth of 4 inches, backfill with 4 inches of Acid Gro Complete mix as manufacture by Soil Building Systems and rototill to a depth of 12 inches producing a homogeneous mixture.
 - Final locations of plant material shall be subject to approval by Landscape Architect. Install groundcover 12 inches from the edge of shrubs and tree root balls and 4 inches from edge of paving, walls and other structures.
 - Backfill tree and shrub pits with one part compost as manufactured by Soil Building Systems and two parts existing soil.
 - Stake tree locations and acquire written approval from Landscape Architect prior to installation of irrigation system. Do not locate tree(s) within 10 feet of any irrigation rotary spray head. Install tree(s) in areas covered by irrigation system. Provide supplemental watering as required until final acceptance by Landscape Architect. Locate tree(s) 4 feet minimum from walls, headers, property lines and other trees within project. Notify Landscape Architect of location conflicts for resolution. Failure to notify Landscape Architect will result in Contractor's liability to relocate trees at no additional expense to Owner.
 - Stake tree(s) immediately upon installation and within same day as planted.
 - Mulch planting beds and tree pits with shredded hardwood mulch.
 - Provide full service maintenance of landscape within project scope for a period of four (4) months, 120 calendar days, from date of issuance of final acceptance by Landscape Architect. Failure to properly maintain landscape and irrigation system will result in extending the guarantee and maintenance period at no additional expense to Owner.
 - All landscape areas to be watered by an automatic landscape irrigation system.

ES PARK
BBARD*
LLAS



TREE PLANTING DETAIL

NOT TO SCALE

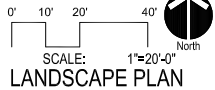


SHRUB PLANTING DETAIL

NOT TO SCALE



RICKY D. PETTY
LANDSCAPE ARCHITECT
7720 ALTO CARO DRIVE
DALLAS, TEXAS 75248
PHONE: (214) 543-5285
e-mail: rpetty1994@gmail.com



REVISED: 6/8/2020 - CITY COMMENTS
04/30/2020



ERIC L. DAVIS ENGINEERING, INC.
F-3987
120 East Main Street
Forney, Texas 75126
972/564-0592 Fax 972/564-6523
E-Mail: ericdavis@engineering.com

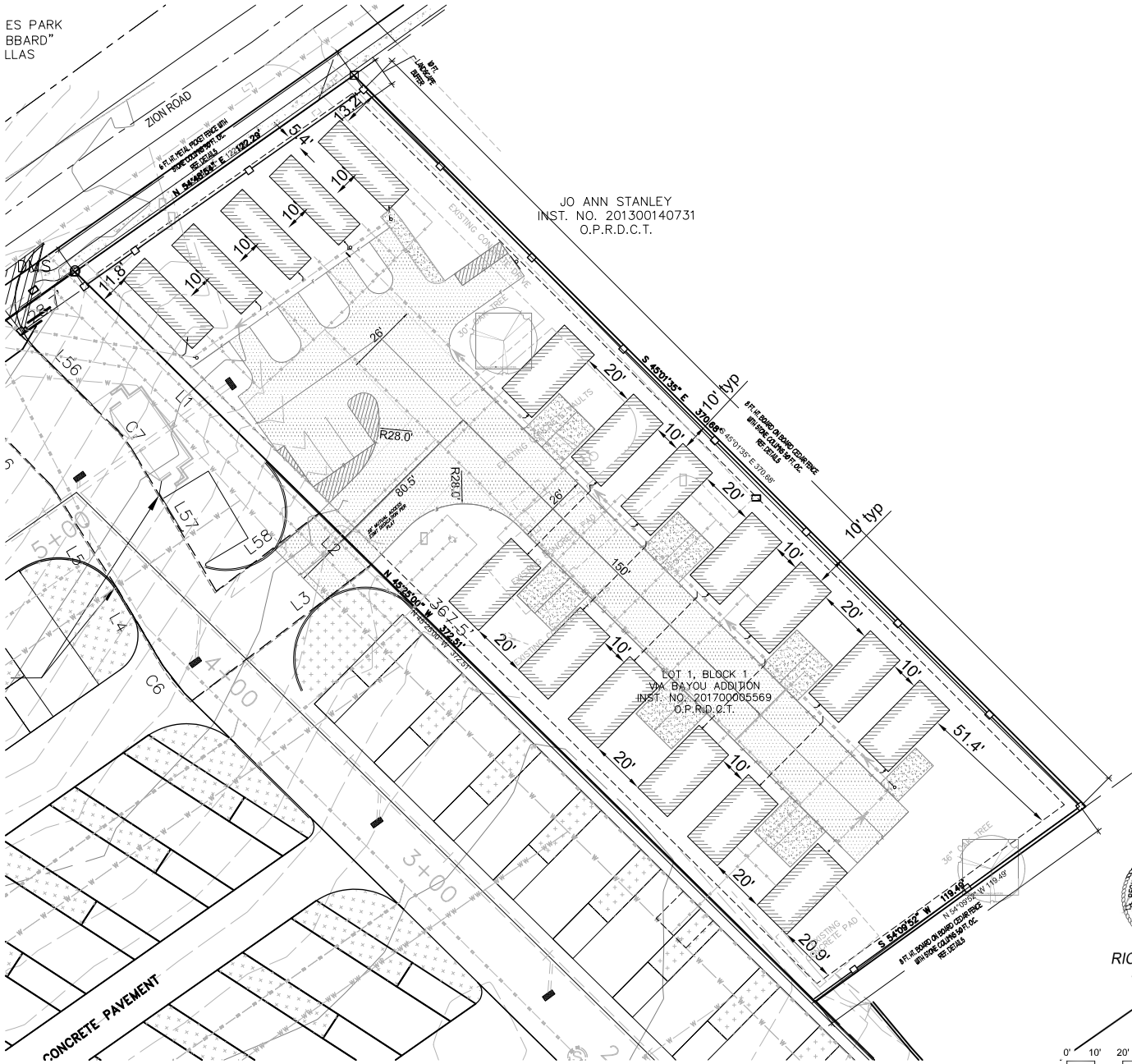
LAKESHORE RV PARK
PHASE II
TREE PRESERVATION PLAN
ENGINEERED FOR:
VIA BAYOU, INC.

PLANNED LANDSCAPE PLAN	BUILDER: VIA BAYOU, INC.
ELD JOB NO.: 2073	ADDRESS: LAKESHORE RV RESORT
DRAWN BY: RDP	ADDRESS: 1233 INTERSTATE 30
CHECKED BY: RDP	LOT: 1 BLOCK: 1
	CITY: GARLAND, TX

SCALE: 1"=20'

SHEET L2

EXHIBIT D



04/30/2020



ERIC L. DAVIS ENGINEERING, INC.
F-3987
120 East Main Street
Forney, Texas 75126
972/564-0392 • Fax 972/564-6523
E-Mail: ericdavis@eldengineering.com

LAKESHORE RV PARK
PHASE II
TREE PRESERVATION PLAN
ENGINEERED FOR:
VIA BAYOU, INC.

PLAN: SCREENING FENCE PLAN
ELD JOB NO.: 2073
DRAWN BY: RDP
CHECKED BY: RDP

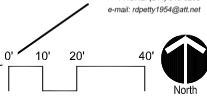
BUILDER: VIA BAYOU, INC.
ADDITION: LAKESHORE RV RESORT
ADDRESS: 1233 INTERSTATE 30
LOT: 1 BLOCK: 1
CITY: GARLAND, TX

SCALE: 1"=20'

SHEET L3

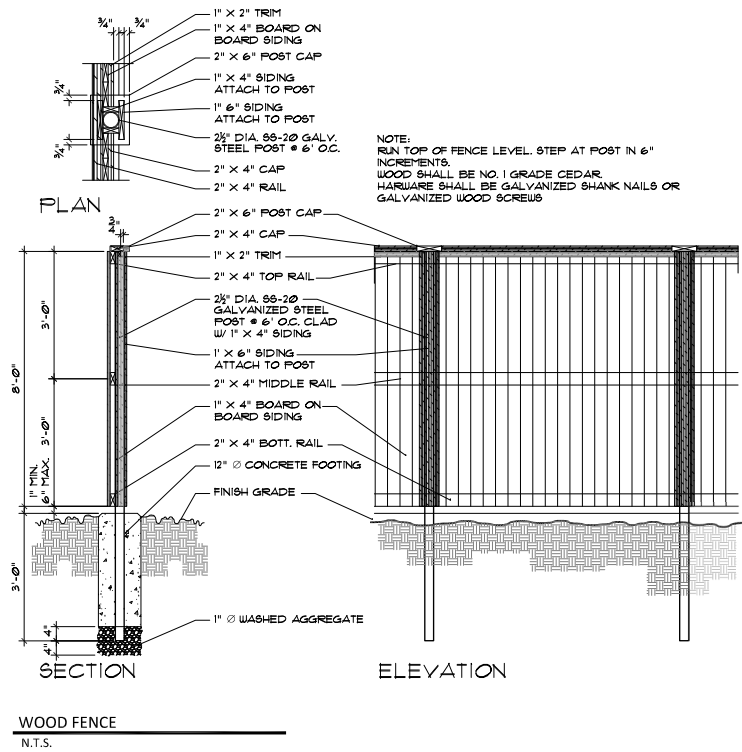
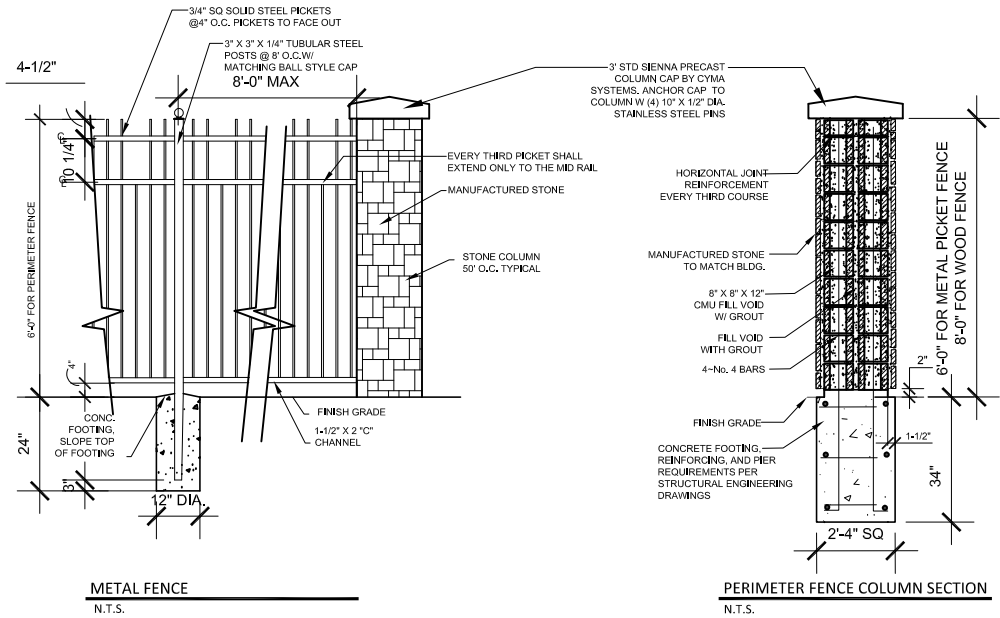


RICKY D. PETTY
LANDSCAPE ARCHITECT
7720 ALTO CARO DRIVE
DALLAS, TEXAS 75249
PHONE: (214) 543-5265
e-mail: rdpetty1954@aol.net



SCALE: 1"=20'-0"
SCREENING FENCE
PLAN

EXHIBIT D



RICKY D. PETTY
LANDSCAPE ARCHITECT
7720 ALTO GARO DRIVE
DALLAS, TEXAS 75248
PHONE: (214) 543-5260
e-mail: rdpetty1954@aol.net

FENCE DETAILS

04/30/2020



ERIC L. DAVIS ENGINEERING, INC.
F-3987
120 East Main Street
Forney, Texas 75126
972/564-0392 • Fax 972/564-6523
E-Mail: ericdavis@eldengineering.com

LAKESHORE RV PARK
PHASE II
TREE PRESERVATION PLAN
ENGINEERED FOR:
VIA BAYOU, INC.

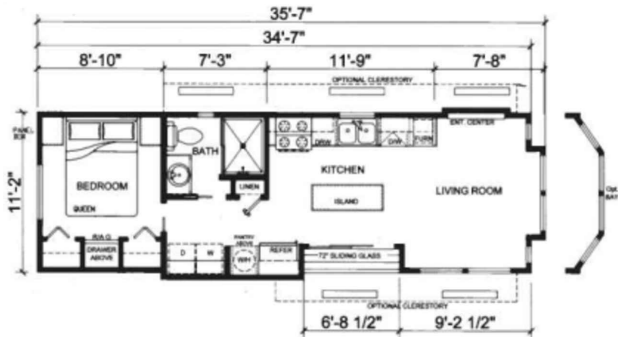
PLAN: FENCE DETAILS	
BUILDER: VIA BAYOU, INC.	ELD JOB NO.: 2073
ADDITION: LAKESHORE RV RESORT	DRAWN BY: RDP
ADDRESS: 1233 INTERSTATE 30	CHECKED BY: RDP
LOT: 1 BLOCK: 1	
CITY: GARLAND, TX	

SCALE: 1"=20'

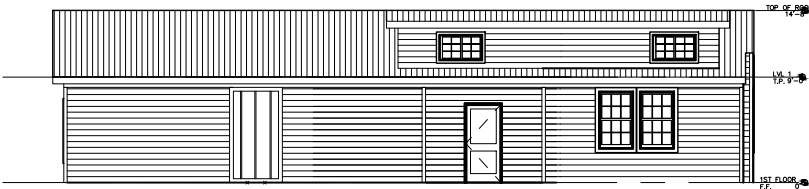
SHEET L4

EXHIBIT E

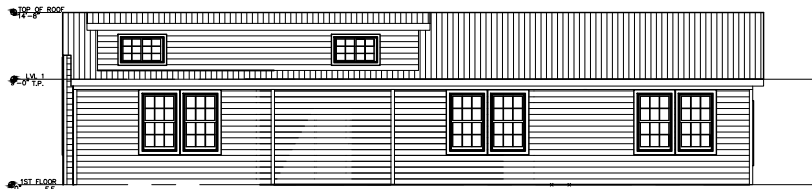
- NOTES:
- 1. ALL BUILDINGS WILL COMPLY WITH ALL BUILDING CODE REQUIREMENTS.
 - 2. PLUMBING AND HVAC PLANS ARE TO BE HANDLED BY THE CONTRACTOR. EACH MUST COMPLY WITH ALL BUILDING CODE REQUIREMENT.



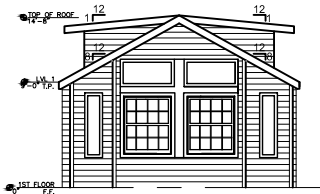
FLOOR PLAN
SCALE = N.T.S. 390 SF



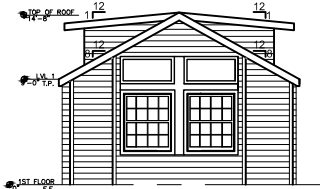
WEST ELEVATION
SCALE = 1"= 5'



EAST ELEVATION
SCALE = 1"= 5'



FRONT ELEVATION
SCALE = 1"= 5'



SOUTH ELEVATION
SCALE = 1"= 5'



IMAGE SCANNED FROM PLATINUM COTTAGES BROCHURE

CASE NO. 200409-2

7/7/2020



ERIC L. DAVIS ENGINEERING, INC.
P-3987
120 East Main Street
Forney, Texas 75126
972/564-0592 Fax 972/564-6523
E-Mail ericdavis@eldengineering.com

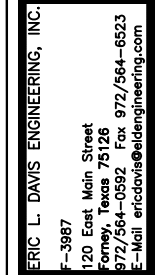
LAKESHORE RV PARK
PHASE II
SITE PLAN
ENGINEERED FOR
VIA BAYOU, INC.

BUILDER: VIA BAYOU, INC.	PLAN: SITE PLAN
ADDRESS: 1233 INTERSTATE 30	ELD JOB NO.: 2073
LOT: 1 BLOCK: 1	DRAWN BY: JPH
CITY: GARLAND, TX	FIRM REGISTRATION #: 3987

SCALE: 1"=50'

SHEET 01

OPTION 1
BUILDING ELEVATIONS AND ISOMETRIC COLOR RENDERING



LAKE SHORE RV PARK
PHASE II
SITE PLAN
ENGINEERED FOR:
VIA BAYOU, INC.

BUILDER: VIA BAYOU, INC.	PLAN: SITE PLAN
	ELD JOB NO.: 2073
ADDRESS: 1233 INTERSTATE 30	DRAWN BY: JPH
LOT: 1 BLOCK: 1	FIRM REGISTRATION #: 3987
CITY: GARLAND, TX	

SCALE: 1"=50'

SHEET 01

OPTION 2 BUILDING ELEVATIONS AND ISOMETRIC COLOR RENDERING

NOTES:

1. ALL BUILDINGS WILL COMPLY WITH ALL BUILDING CODE REQUIREMENTS.
2. PLUMBING AND HVAC PLANS ARE TO BE HANDLED BY THE CONTRACTOR. EACH MUST COMPLY WITH ALL BUILDING CODE REQUIREMENT.

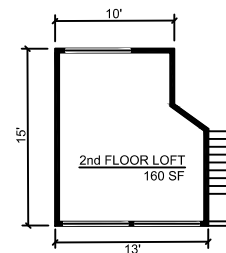
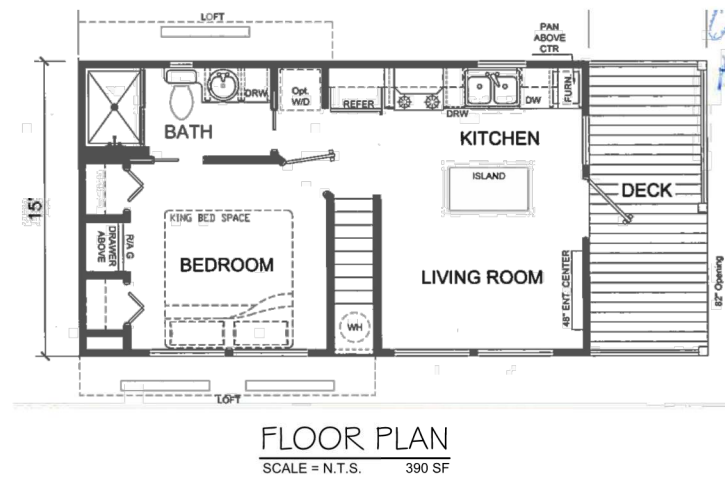
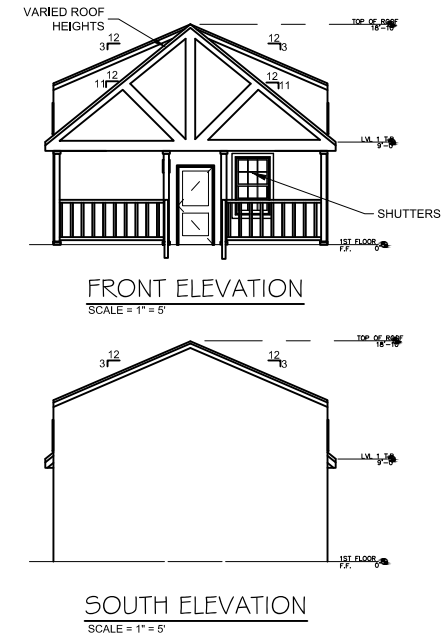


IMAGE SCANNED FROM PLATINUM COTTAGES BROCHURE



Z 21-61



View of property east of subject site.



View of Zion Road Frontages looking west towards the subject site on the left beyond the fence.



View of Zion Road with subject site on the right.



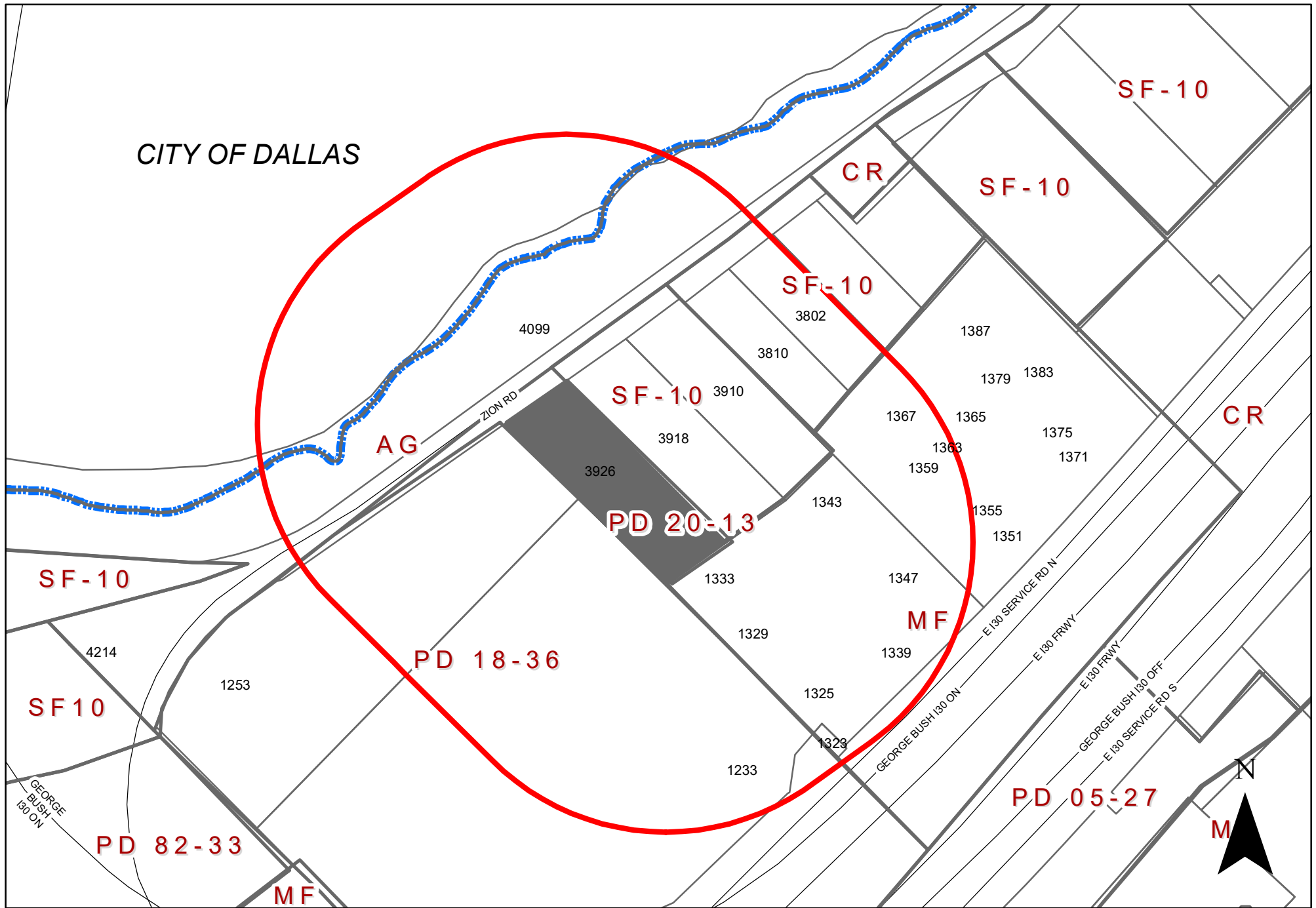
View of park located north of the subject site.



View of the site currently under construction.



View of the site clubhouse under construction.



ZONING MAP Z 21-61

3926 Zion Road

To date we have not received any responses for this case.