



GARLAND

**NOTICE OF MEETING
CITY OF GARLAND, TEXAS
PLAN COMMISSION
City of Garland
- REMOTE MEETING -
July 27, 2020
7:00 p.m.**

NOTICE: Due to the COVID-19 emergency and, pursuant to Section 551.125 of the Texas Government Code and the executive orders of Governor Greg Abbott suspending provisions of the Texas Government Code and other applicable laws of the State regarding normal open meetings, the Plan Commission will hold this meeting by internet/telephonic remote means on Monday, July 27, 2020 at 7:00 p.m. The meeting will be broadcasted by webinar or telephone at the following URL (registration is required):

https://garlandtx.zoom.us/webinar/register/WN_K1h_PFzTTK2dC6tdMCQf4w

After registering, you will receive a confirmation email containing information about joining the webinar.

For those without internet access to the meeting, a dial-in option is available. The toll-free numbers are:

877-853-5247
888-788-0099

Additionally, the meeting may be accessed by phone at the following numbers:

346-248-7799
470-250-9358
470-381-2552

The Meeting ID is: 996 1909 2800

For participants (online and by phone) who wish to speak on an item on the agenda, you must use the "raise hand" feature in order to be recognized.

Those joining the meeting by phone may press *9 to raise your hand. After speaking, please re-mute your phone by pressing *6.

The meeting will also be recorded and made available online at www.garlandtx.gov.

If the Plan Commission adjourns into executive session during this meeting, the executive session will be conducted by teleconference between and among the members of the City Council and relevant City staff. Public access to that call is prohibited by State law.

CONSENT AGENDA

All items under this section are recommended for approval by a single motion of the Plan Commission, without discussion. The Plan Commission has had the opportunity to review each of these items during a pre-meeting. The Chairman will announce the agenda and provide an opportunity for members of the audience and the Plan Commission to request that an item be removed and considered separately.

1. MINUTES

- a. Consider approval of Minutes for the July 13, 2020 meeting.

2. PLATS

- a. P 20-19 Michel Addition Final Plat

ITEMS FOR INDIVIDUAL CONSIDERATION

Speaker Regulations:

Anyone wishing to speak for, against, or on agenda items must fill out a speaker card and give it to the Plan Commission Secretary before speaking (cards are located at the entrance to the Council Chambers). The Chairman will recognize speakers; he may impose a time limit and may provide for rebuttal. All comments and testimony are to be presented from the podium.

3. ZONING

- a. Consideration of the application of **Kimley-Horn and Associates, Inc.**, requesting approval of 1) a Change in Zoning from Planned Development (PD) District 93-11 to a Planned Development (PD) District for Industrial (IN) Uses and 2) a Detail Plan for a Truck/Bus Repair Use. This property is located at 2700-2816 McCree Road. This application was submitted prior to September 1, 2019. (District 5) (Z 19-27) *(This item was postponed from the July 13, 2020 Plan Commission meeting as requested by the applicant.)*
- b. Consideration of the application of **RaceTrac Petroleum, Inc.**, requesting approval of a Change of Zoning from Community Retail (CR) District with Specific Use Provision S 06-65 for Fuel Pumps, Retail, to Heavy Commercial (HC) District. This property is located at 4214 Forest Lane. (District 6) (Z 20-20)

4. ADJOURN

NOTICE: The Plan Commission may recess from the open session and convene in a closed session if the discussion of any of the listed agenda items concerns matters regarding privileged and unprivileged client information deemed confidential by Rule 1.05 of the Texas Disciplinary Rules of Professional Conduct. Sec. 551.071, Tex. Gov't Code.

NOTE: A quorum of the City Council may be in attendance and may or may not participate in the discussions of the Committee or board.



GARLAND

Plan Commission

1. a.

Meeting Date: 07/27/2020

Item Title: Plan Commission Minutes for July 13, 2020

Summary:

Consider approval of Minutes for the July 13, 2020 meeting.

Attachments

Plan Commission Minutes for July 13, 2020

Minutes of the Garland Plan Commission Meeting

Due to the COVID-19 mandated guidelines and to conform with social distancing requirements, the Plan Commission meeting was held via teleconferencing. The meeting was broadcast live on the City's Website (<https://www.garlandtx.gov/721/CGTV---Government-Access-Television>), through local cable (Channel 16 (Spectrum), Channel 44 (Frontier) and Channel 99 (AT&T U-verse)).

The Plan Commission of the City of Garland met in regular session on Monday, July 13, 2020, at 7:00 p.m., with the following members present, (remotely):

COMMISSION PRESENT

Chairman	Scott Roberts
Commissioner	Wayne Dalton
Commissioner	Stephen Hallman
Commissioner	Preston Edwards
Commissioner	Truett Welborn
Commissioner	Douglas Williams
Commissioner	Mike Rose
Commissioner	Christopher Ott

STAFF PRESENT

1 st Assistant City Attorney	Brian England
Senior Assistant City Attorney	Stephen Hines
Recording Secretary	Tracy Allmendinger
Staff	Will Guerin
Staff	Kira Wauwie
Staff	Kimberly Hopkins

CONSENT AGENDA

All items marked with asterisks (**) on the Consent Agenda were voted on at the beginning of the meeting. Chairman Roberts read those items into the record. **Motion** was made by Commissioner Williams to **approve** the Consent Agenda as presented, seconded by Commissioner Dalton. **Motion carried: 8 Ayes, 0 Nays.**

MINUTES

1a. APPROVED** Consider approval of Minutes for the June 8, 2020 meeting.

2a. APPROVED** Ventura Addition Final Plat

ITEMS FOR INDIVIDUAL CONSIDERATION

ZONING

3a. POSTPONED Consideration of the application of **Kimley-Horn and**

Associates, Inc., requesting approval of 1) a Change in Zoning from Planned Development (PD) District 93-11 to a Planned Development (PD) District for Industrial (IN) Uses and 2) a Detail Plan for a Truck/Bus Repair Use. This property is located at 2700-2816 McCree Road. This application was submitted prior to September 1, 2019. (District 5) (Z 19-27)

The applicant requested to postpone this case until the July 27, 2020 Plan Commission meeting.

Motion was made by Commissioner Welborn to **postpone** this case until the July 27, 2020 meeting, seconded by Commissioner Rose. **Motion carried: 8 Ayes, 0 Nays**

3b. APPROVED

Consideration of the application of **Tilson Custom Homes**, requesting approval of a Specific Use Provision for a Guest House on a property zoned Agriculture (AG) District. This property is located at 1620 Pleasant Valley Road. (District 1) (Z 20-15)

Kimberly Hopkins, Development Planner, presented the staff report.

There was discussion between the Commission and Staff regarding the need to request a time length for a Guest House on a property zoned Agriculture (AG).

The applicant, Robert Fishbein, 208 Mistletoe Drive, Richardson, TX 75081 provided a brief overview of the request and remained available for questions.

Commissioner Rose asked staff what would happen if the applicant decided to sell either property separate from the other.

Staff stated the property would have to be replatted in order to sell the properties separately.

Motion was made by Commissioner Dalton to close the public hearing and **approve** the Specific Use Provision for an unlimited time period, seconded by Commissioner Rose. **Motion carried: 8 Ayes, 0 Nays**

3c. APPROVED

Consideration of the application of the **City of Garland**, requesting approval to amend Planned Development

(PD) District 17-35 for Mixed Use to 1) Amend Table 5-1 (Schedule of Uses) to remove Dwelling, Multi-Family Use and Elder Care - Independent Living Use from several Character Zones; and 2) Change the Character Zones of certain properties. This area is generally located northeast of President George Bush Turnpike, west of Holford Road, and south of the city limits line. (District 1) (Z 20-17)

Kira Wauwie, Principal Planner presented the staff report.

Ben Knaus, 410 Kirkland Road, Garland, Texas 75044 had questions regarding zoning of the property between Ferris Road and the residential subdivision.

Chairman Roberts provided information regarding the zoning history of the property.

Sammy Jibrin, 1625 Ferris Road, Garland, Texas 75044 raised concerns regarding the ownership of his property included in the amendment and the removal of certain uses.

Mabel Simpson, 1755 North Collins Boulevard Suite 105, Richardson, Texas 75080, representing Sammy Jibrin, provided an overview of the properties owned by Mr. Jibrin and the concerns regarding the removal of currently allowed uses. Ms. Simpson further provided steps taken by Mr. Jibrin to work with the City for allowable uses and the infrastructure that is being completed to support these uses. Ms. Simpson further requested her client's properties (1805, 1815, and 1825 Campbell Road; and 6600, 6610, and 6620 President George Bush Turnpike, also referred to as "A" and "B") be excluded from this amendment request.

Scott Huffman, 18800 Preston Road, Suite 100, Dallas, Texas 75252, represented the property owner of 6600 President George Bush Turnpike and 1825 Campbell Road, stated their request to develop commercial/retail uses with multifamily on the upper floors and their opposition with this request.

Chairman Roberts called for a recess at 8:11 p.m.

Chairman Roberts reconvened the meeting at 8:21 p.m.

Motion was made by Commissioner Dalton to close the public hearing and open for discussion, seconded by Commissioner Williams. **Motion carried: 8 Ayes, 0 Nays**

Chairman Roberts suggested to the Commission to exclude 1805, 1815, and 1825 Campbell Road; and 6600, 6610, and 6620 President George Bush Turnpike from the request.

Chairman Roberts discussed and further explained the intent of the existing Planned Development (PD).

Motion was made by Commissioner Dalton to **approve** the request with the exclusion of sections "A" and "B" as presented by the speaker (1805, 1815, and 1825 Campbell Road and 6600, 6610, and 6620 President George Bush Turnpike) and the suggestion that Detail Plan review is required with the approval by Plan Commission and City Council, seconded by Commissioner Williams. **Motion carried: 8 Ayes, 0 Nays**

ADJOURNMENT

There being no further business to come before the Plan Commission, the meeting was adjourned at 8:23 p.m.

City of Garland, TX

Approved:

Chairman

Attested:

Recording Secretary



GARLAND

Plan Commission

2. a.

Meeting Date: 07/27/2020

Item Title: P 20-19 Michel Addition Final Plat

Summary:

P 20-19 Michel Addition Final Plat

Attachments

P 20-19 Michel Addition Final Plat Report and Attachments



GARLAND
TEXAS MADE HERE

Planning Report

File No: P 20-19/District 1

Agenda Item:

Meeting: Plan Commission

Date: July 27, 2020

FINAL PLAT

Michel Addition Final Plat

LOCATION

1620 Pleasant Valley Road

ZONING

Agriculture (AG) District

NUMBER OF LOTS

1

ACREAGE

1.797

BACKGROUND

The applicant requests approval of a Final Plat. The purpose of the Final Plat is to create one (1) lot from an existing tract. A variance was granted by the Board of Adjustment to allow the smaller lot size in the Agriculture (AG) District.

STAFF RECOMMENDATION

Approval of the Final Plat. All technical requirements of the plat have been addressed and the plat is in order as submitted.

ADDITIONAL INFORMATION

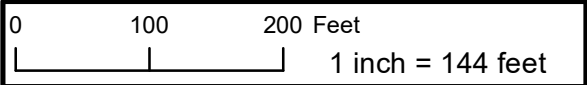
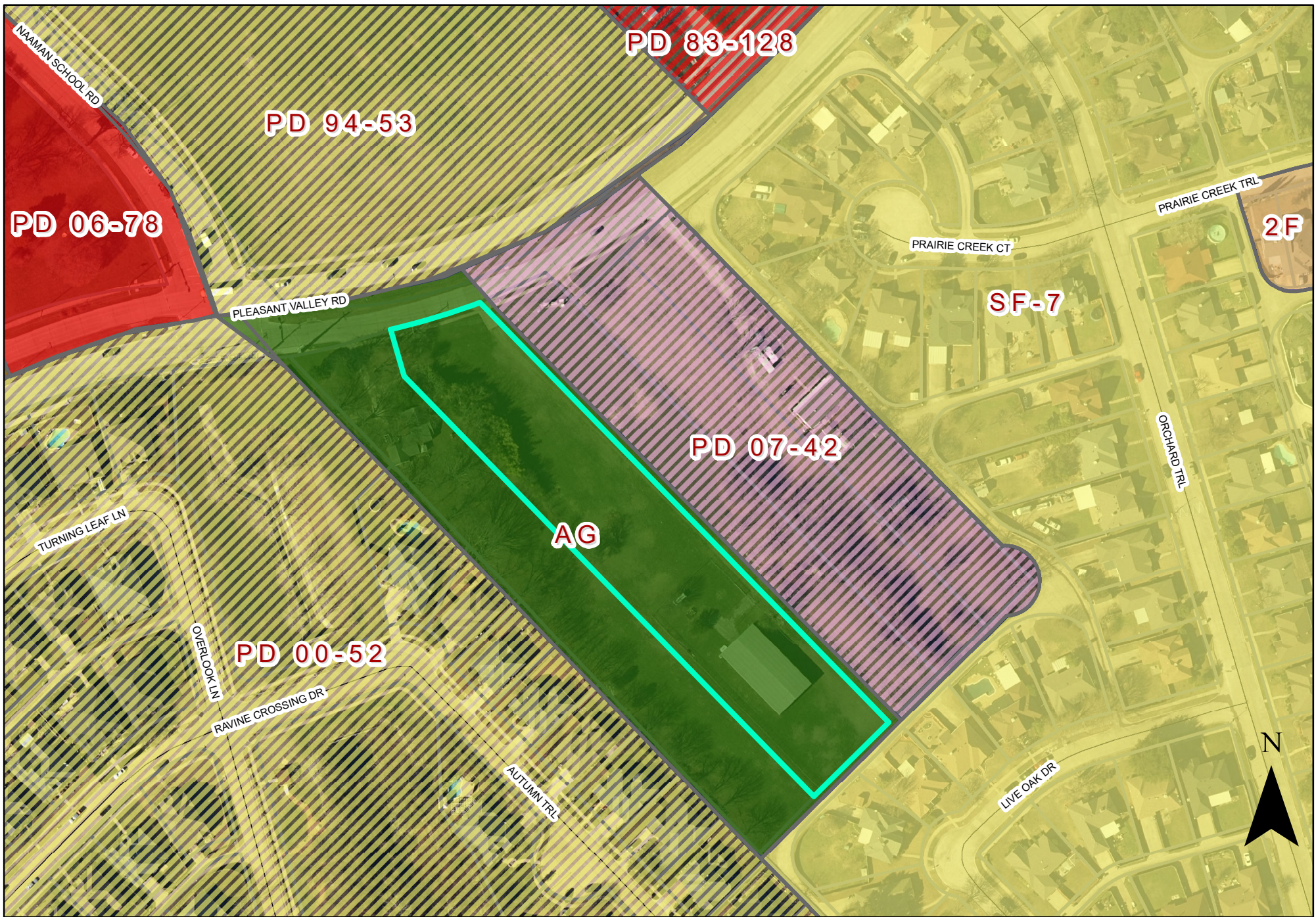
- i. Location Map
- ii. 8x11 Plat

PREPARED BY:

Nabiha Ahmed
Development Planner
Planning & Community Development
972-205-2453
nahmed@garlandtx.gov

REVIEWED BY:

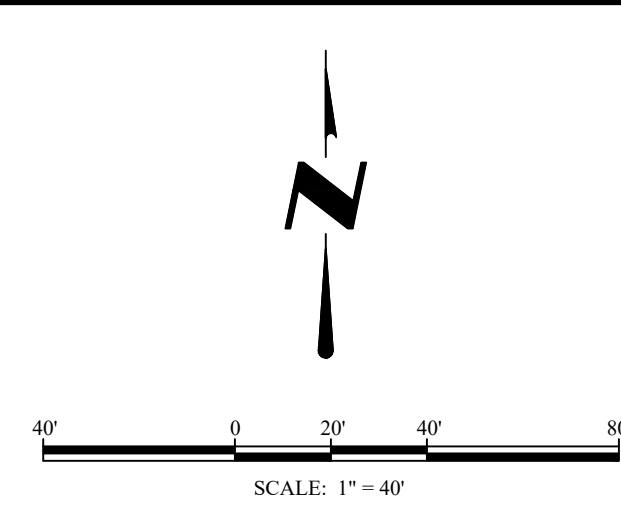
Will Guerin, AICP
Director of Planning



Plat Map P 20-19

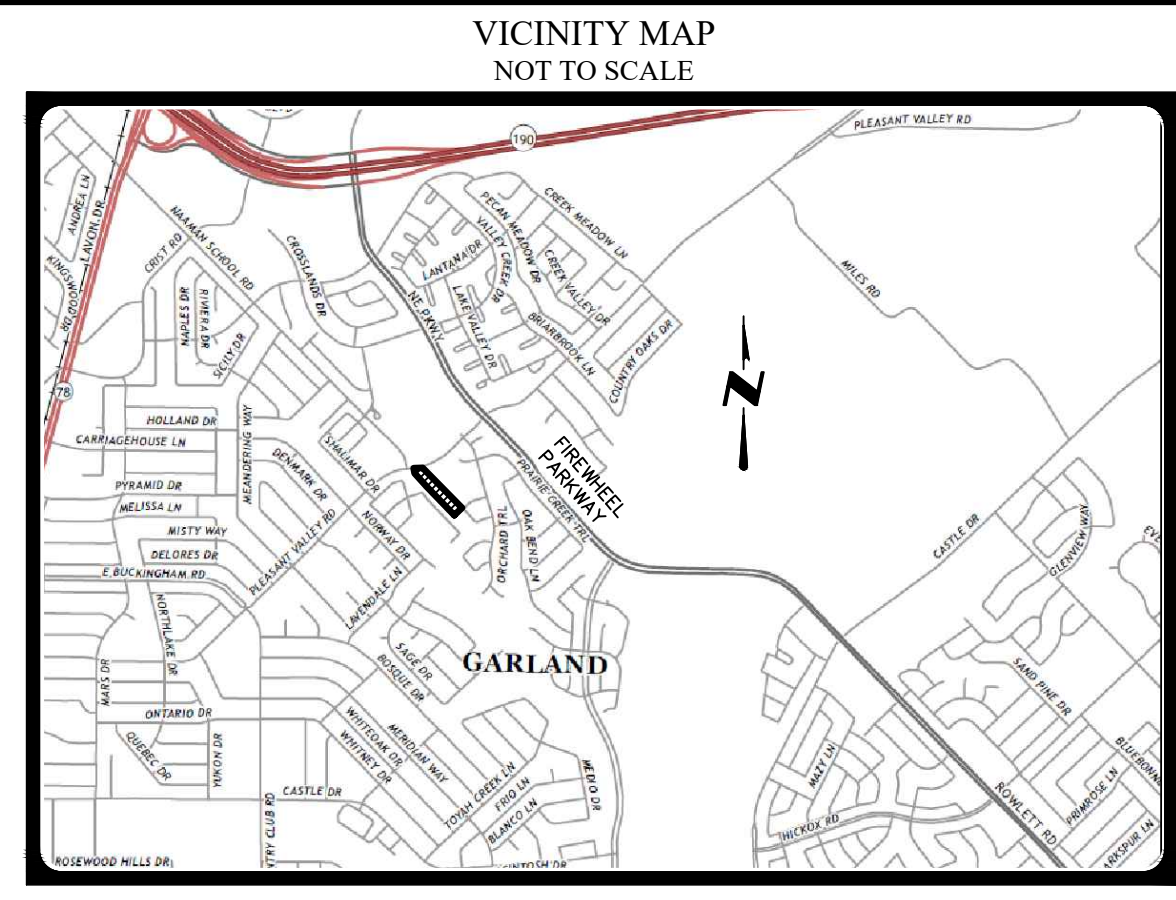


INDICATES AREA
OF REQUEST



- LEGEND OF ABBREVIATIONS**
- D.R.D.C.T. DEED RECORDS, DALLAS COUNTY, TEXAS
 - O.P.R.D.C.T. OFFICIAL PUBLIC RECORDS, DALLAS COUNTY, TEXAS
 - P.R.D.C.T. PLAT RECORDS, DALLAS COUNTY, TEXAS
 - ROW RIGHT OF WAY
 - C.M. CONTROLLING MONUMENT
 - Z COMMON OWNERSHIP
 - ADS A 3" ALUMINUM MONUMENT STAMPED "MICHEL ADDITION"

LOT 2, BLOCK 1
GISD NATATORIUM ADDITION
INST. NO. 201900049019
O.P.R.D.C.T.



- SURVEYOR'S NOTES:**
- Bearings and coordinates are based on Texas Coordinate System of 1983, Texas North Central Zone 4202 North American Datum of 1983 (NAD 83) (U.S. Foot) and tied to the following City of Garland geodetic monuments:
GPS53 GPS19
Grid N= 7030448.8040 Grid N= 7027450.5460
Grid E= 2549312.3980 Grid E= 2552182.5760
 - Notice: Selling a portion of this addition by metes and bounds is a violation of the City of Garland Development Code and is subject to withholding of utilities and building permits.
 - The purpose of this plat is to create one lot out of an existing tract.

Surveyor's Statement

STATE OF TEXAS §
COUNTY OF DENTON §

I, Mark N. Peebles, a Registered Professional Land Surveyor, licensed by the State of Texas, affirm that this plat was prepared under my direct supervision, from recording documentation, evidence collected on the ground during field operations and other reliable documentation; and that this plat substantially complies with the Rules and Regulations of the Texas Board of Professional Land Surveying, Texas Local Government Code, Chapter 212, and the City of Garland Development Code. I further affirm that monumentation shown hereon and is in substantial compliance with the City of Garland Development Code; and that the digital drawing file accompanying this plat is a precise representation of this Signed Final Plat.

Mark N. Peebles, R.P.L.S.
No. 6443

STATE OF TEXAS §
COUNTY OF DENTON §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Mark N. Peebles, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of ____ 20__.

Notary Public in and for the State of Texas

Owners Certificate:

STATE OF TEXAS §
COUNTY OF DALLAS §

WHEREAS Doug Michel, Robert Fishbein and Carla Michel-Fishbein are the owners of a 1.797 acre tract of land situated in the Daniel Crist Survey, Abstract Number 226, as conveyed in deed without warranty recorded in Instrument Number 201900344286, Official Public Records, Dallas County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at an "X" Cut found for the northeast corner of a tract of land conveyed to Lazaro De Leon, ET UX and Ramona De Leon by deed recorded in Volume 99083, Page 4519, Deed Records, Dallas County, Texas and lying on the south right of way line of Pleasant Valley Road (Variable Width Right of Way);

THENCE North 87 degrees 48 minutes 00 seconds East with the south right of way line of said Pleasant Valley Road, a distance of 101.82 feet to a 1/2 inch rebar with a yellow cap "ASC" found for corner;

THENCE South 44 degrees 35 minutes 31 seconds East, with the southwest right of way line of said Pleasant Valley Road and continuing with the southwest line of Lot 1, Ponderosa Acres, an addition to the City of Garland, Texas, as recorded in Volume 69180, Page 1708, Plat Records, Dallas County, Texas a distance of 639.97 feet to a 1/2 inch rebar capped "ASC" found for the southwest corner of said Lot 1, and lying on the northwest right of way line of a 15 foot alley;

THENCE South 45 degrees 19 minutes 18 seconds West, with the northwest right of way line of said 15 foot alley, a distance of 120.40 feet to a 1/2 inch iron pipe found for the southeast corner of said Leon tract;

THENCE North 43 degrees 58 minutes 15 seconds West, departing the northwest right of way line of said 15 foot alley, with the the northeast line of said Leon tract, a distance of 452.19 feet to a 1/2 inch rebar found for an interior corner of said Leon tract;

THENCE North 42 degrees 13 minutes 15 seconds West with the northeast line of said Leon tract, a distance of 207.42 feet to a 1/2 inch rebar with a yellow cap "ASC" found for corner;

THENCE North 11 degrees 53 minutes 15 seconds West, with the northeast line of said Leon tract, a distance of 58.70 feet to the POINT OF BEGINNING and containing 78,285 square feet or 1.797 acres of land, more or less.

Owners Dedication

NOW, THEREFORE, KNOW ALL BY THESE PRESENTS

THAT Doug Michel, Robert Fishbein and Carla Michel-Fishbein, the owners of the property described in this plat, do hereby adopt this plat, designating the property as **MICHEL ADDITION**, an addition to the City of Garland, Dallas County, Texas and do hereby dedicate in fee simple and to the public use forever, any streets and alleys shown thereon and do further dedicate to the public use forever the easements shown thereon for the purposes indicated; provided, however, that no public dedication is made or intended as to any private easement, screen wall easement or wall maintenance easement shown on this plat. All easements dedicated by this plat shall be open to, without limitation, all public and private utilities using or desiring to use the same for the purposes dedicated. No building, fence, tree, shrub or other structure, improvement or growth shall be constructed, reconstructed or placed upon, over or across any easement dedicated by this plat in such a manner as to restrict the use or scope of, or interfere with the purpose and intent of the easement. Any public or private utility shall have: (1) the right to remove and keep removed all or any part of any building, fence, tree, shrub or other structure, improvement or growth which in any way may endanger or interfere with the construction, reconstruction, maintenance, operation or efficiency of such utility; and (2) the right of ingress and egress to or from and upon such easement for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to, enlarging, or removing all or parts of its operation without the necessity at any time of procuring the permission of anyone. The maintenance of paving on utility easements and fire lanes is the responsibility of the property owner. Any and all maintenance of screening walls, screen wall easements, retaining walls and wall maintenance easements is the responsibility of the property owner, their successors, or assigns.

All utility easements dedicated by this plat shall also include an additional area of working space for construction, reconstruction, additions, enlargements and maintenance including such additional area necessary for installation and maintenance of manholes, cleanouts, fire hydrants, water services and waste water services from the main to the curb or pavement line.

This plat approved subject to all applicable ordinances, rules, regulations and resolutions of the City of Garland, Texas

WITNESS our hand at Garland, Texas, this the ____ day of ____, 20__.

By: _____
Doug Michel, Owner

By: _____
Robert Fishbein, Owner

By: _____
Carla Michel-Fishbein, Owner

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Doug Michel, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of ____ 20__.

Notary Public in and for the State of Texas

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Robert Fishbein, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of ____ 20__.

Notary Public in and for the State of Texas

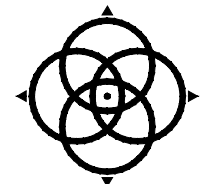
STATE OF TEXAS §
COUNTY OF _____ §

BEFORE ME, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared Carla Michel-Fishbein, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that she executed the same for the purposes and consideration therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this ____ day of ____ 20__.

Notary Public in and for the State of Texas

FINAL PLAT
MICHEL ADDITION
LOT 1, BLOCK 1
Being 1.797 Acres situated in the
Daniel Crist Survey
Abstract Number 226
City of Garland, Dallas County, Texas



WINDROSE
LAND SURVEYING | PLATING

220 ELM STREET, SUITE 200 | LEWISVILLE, TX 75057 | 214.217.2544
FIRM REGISTRATION NO. 10194331 | WINDROSESERVICES.COM

DRAWN BY: G.L.C. DATE: 01/06/2020 CHECKED BY: T.M. JOB NO.: WR1911.0028-01
-- 2020 --

ENGINEER
CCM ENGINEERING
2570 Justin Road
Highland Village, Texas 75077
972-691-6633

OWNER/DEVELOPER
Doug Michel, Bob Fishbein and Carla Michel-Fishbein
2570 Powderhorn Drive
Garland, Texas 75044-6773
201-694-4348

CERTIFICATE OF APPROVAL

APPROVED AND ACCEPTED for the City of Garland, this the ____ day of ____, 20__ by the City Plan Commission of the City of Garland,

Director of Planning

Chairman of Planning Commission

The Approval of this plat is contingent upon the plat being filed with the County Clerk of Dallas County within 180 days from the above date.

SPACE RESERVED FOR COUNTY RECORDING LABEL



GARLAND

Plan Commission

3. a.

Meeting Date: 07/27/2020

Item Title: Z 19-27 Kimley-Horn (District 5)

Summary:

Consideration of the application of **Kimley-Horn and Associates, Inc.**, requesting approval of 1) a Change in Zoning from Planned Development (PD) District 93-11 to a Planned Development (PD) District for Industrial (IN) Uses and 2) a Detail Plan for a Truck/Bus Repair Use. This property is located at 2700-2816 McCree Road. This application was submitted prior to September 1, 2019. (District 5) (Z 19-27) *(This item was postponed from the July 13, 2020 Plan Commission meeting as requested by the applicant.)*

Attachments

Z 19-27 Kimley-Horn and Associates, Inc. Report and Attachments

Planning Report

File No: Z 19-27/District 5

Agenda Item:

Meeting: Plan Commission

Date: July 27, 2020



GARLAND

TEXAS MADE HERE

REQUEST

Approval of 1) a Change in Zoning from Planned Development (PD) District 93-11 to a Planned Development (PD) District for Industrial (IN) Uses and 2) a Detail Plan for a Truck/Bus Repair Use.

LOCATION

2700-2816 McCree Road

APPLICANT

Kimley-Horn and Associates, Inc.

OWNER

U-Haul International and Amerco Real Estate Co.

BACKGROUND

In 1993, City Council approved Planned Development (PD) 93-11 District to allow Retail Sales with Outside Display in the Industrial (IN) District. A Detail Plan was not required as part of the Planned Development.

The subject property is currently undeveloped. The applicant requests development of a Truck/Bus Repair Use on a 6.41-acre tract of land (Sub-District A). Development of the southern 3.21-acre tract of land (Sub-District B) is not proposed at this time. Development in Sub-District B is not required to obtain Detail Plan approval in the future per its existing entitlement.

Per the Garland Development Code (GDC), the Truck/Bus Repair Use requires approval of a Specific Use Provision in the Industrial (IN) District. However, the applicant requests to allow the Truck/Bus Repair Use as a permitted use without a Specific Use Provision in Sub-District A.

SITE DATA

The overall site consists of approximately 9.62 acres with frontage along IH 635 service road and McCree Road.

USE OF PROPERTY UNDER CURRENT ZONING

The site is zoned PD 93-11 District to allow Retail Sales with Outside Display in the Industrial (IN) District. More specifically, the uses allowed on the site include all uses in the Industrial (IN) District and Retail Sales with Outside Display.

The Industrial (IN) District is intended to provide for a wide range of industrial uses that are generally not compatible adjacent to residential neighborhoods, and may or may not be compatible with some nonresidential uses. Such uses include manufacturing, processing, assembling, research and development, and warehousing and distribution. The Industrial (IN) District also accommodates support services for industrial development such as office, commercial, personal and professional services, and limited retail activities. The Industrial District regulations are designed to ensure compatibility among the various uses allowed in

the district, and to protect adjacent non-industrial development from potentially incompatible uses and conditions.

CONSIDERATIONS

Site Plan and Proposed Use

1. The applicant requests the development of a 42,580 square-foot (two-story) truck/bus repair shop on the north side ("Sub-District A") of the property. The upper floor will consist of an employee lounge and management office. The proposed shop is considered a "Preventive Maintenance" facility which will be used by mechanics to perform oil/filter changes, tire changes, rotations, minor body repairs to vans and yearly inspections of the brakes and electrical equipment for trailers. Any major repairs will be done at another facility.

2. Summary of Deviations:

Development Standards	Required	Proposed	Analysis
Truck/Bus Repair Use	Specific Use Provision in the Industrial (IN) District	Planned District (PD) to allow the use of a Truck/Bus Repair without a Specific Use Provision	If approved, Truck/Bus Repair use will be allowed by right in Sub-District A.
Automotive Service Bays	Section 2.52 (3)(c) states that automotive service repair bays cannot face any street.	Automotive Service Bays will be visible from IH 635 due to the site configuration.	The site has frontage from IH 635 and McCree Road. Therefore, it is difficult to completely hide the automotive service bays from public streets. The service bays are distanced from the freeway and a landscape buffer will provide some screening. The automotive service bays will be less visible when Sub-District B is developed.

3. The Truck/Bus Repair Use currently requires a Specific Use Provision approval in the Industrial (IN) District. The applicant requests to amend the existing Planned Development (PD) District to allow the Truck/Bus Repair Use in Sub-District A. The proposed use is indicated as "Preventative Maintenance" without major repair activity, which lessens the intensity of the repair use. Although no Truck/Bus Repair uses are nearby, there are two automobile dealerships with ancillary repair shops (east of this site on McCree Road; and to the west on IH-635). Additionally an automobile dealership with a "collision center" is located to the west of this site, on IH-635. Also, the site is located adjacent to an existing U-Haul facility which includes a repair use in the building located at the corner of South Garland Avenue and McCree Road.

4. The site plan indicates "Proposed Concrete Pavement" west of the western-most access drive from McCree Road. That concrete pavement area will be used for queuing and staging of vehicles serviced by U-Haul. A PD Condition is proposed to prohibit overnight parking and storage of vehicles not associated with the on-site use.
5. Parking
The GDC requires seventy-one (71) parking spaces for this development. The site plan (Exhibit C) shows seventy-three (73) parking spaces. Therefore, the applicant is complying with the parking requirements.
6. Automotive Service Bays
Section 2.52 (3)(c) of the GDC states that automotive service repair bays cannot face any street. Due to the site configuration, the automotive service bays will be visible to the south and southwest from the IH-635 service road. The applicant requests relief from Section 2.52 (3)(c) to allow the service bay doors to be visible from the IH 635 service road.
7. Screening and Landscaping
The landscape plan (Exhibit D) complies with the landscaping standards per the GDC.
8. Building Design
The building design complies with the architecture elements and articulation requirements of the GDC. (Exhibit E)
 - At least six (6) architectural elements must be incorporated into the design of the building. The north, south, east and west facades meet the GDC requirement.
 - Street-facing elevations should be horizontally and vertically articulated on street-facing facades. The articulation of the building meets the GDC standards.

COMPREHENSIVE PLAN

The Envision Garland Plan designates the subject property as Business Center. Business Centers provide a cluster of business offices and/or low impact industry, including campus-type development that cumulatively employ large numbers of people. Operations within this development type occur internal to buildings resulting in minimal negative impacts (sound, air, traffic, outdoor lighting, storage, etc.) and are compatible with adjacent development types in architecture, character, scale, and intensity. Business Centers are generally located at intersections of major and/or secondary arterial streets or significant transit areas (bus/rail). Proximity and access to residential areas are encouraged to reduce travel times to employment. Site design addresses function and visual aesthetics providing appropriate buffering at gateway corridors, between adjacent developments, and for residential neighborhoods.

A study of the Centerville/Marketplace Catalyst Area was adopted in 2016 but included only the east side of South Garland Avenue and IH-635 extending towards the Centerville Road area, and included the former Hypermart site as well. The greater area that includes the subject property, west of South Garland Avenue and IH-635, is identified in the Envision Garland Plan as Business and Industry designations which generally correspond with industrial and employment-related uses.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

Property to the north, across McCree Road, is zoned Industrial (IN) District. It is developed with a food product supplier facility. The property to the east is zoned Planned Development (PD) District for Industrial Uses; it is developed with a U-Haul storage facility, and includes a U-Haul rental and repair use. Also east of the site is an unimproved property zoned Industrial (IN) District. The property to the west is zoned Industrial (IN) District; it is currently vacant. To the west is an unimproved property zoned PD 93-11 for Industrial (IN) District Uses in addition to Retail Sales with Outside Display; this property will be a remainder of the larger PD 93-11 site which is the subject of this Z 19-27 application.

STAFF RECOMMENDATION

Approval of 1) a Change in Zoning from Planned Development (PD) District 93-11 to a Planned Development (PD) District for Industrial (IN) Uses; and 2) a Detail Plan for a Truck/Bus Repair Use.

ADDITIONAL INFORMATION

- i. Location Map
- ii. PD Conditions
- iii. Detail Plan
- iv. Photos

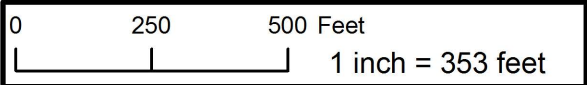
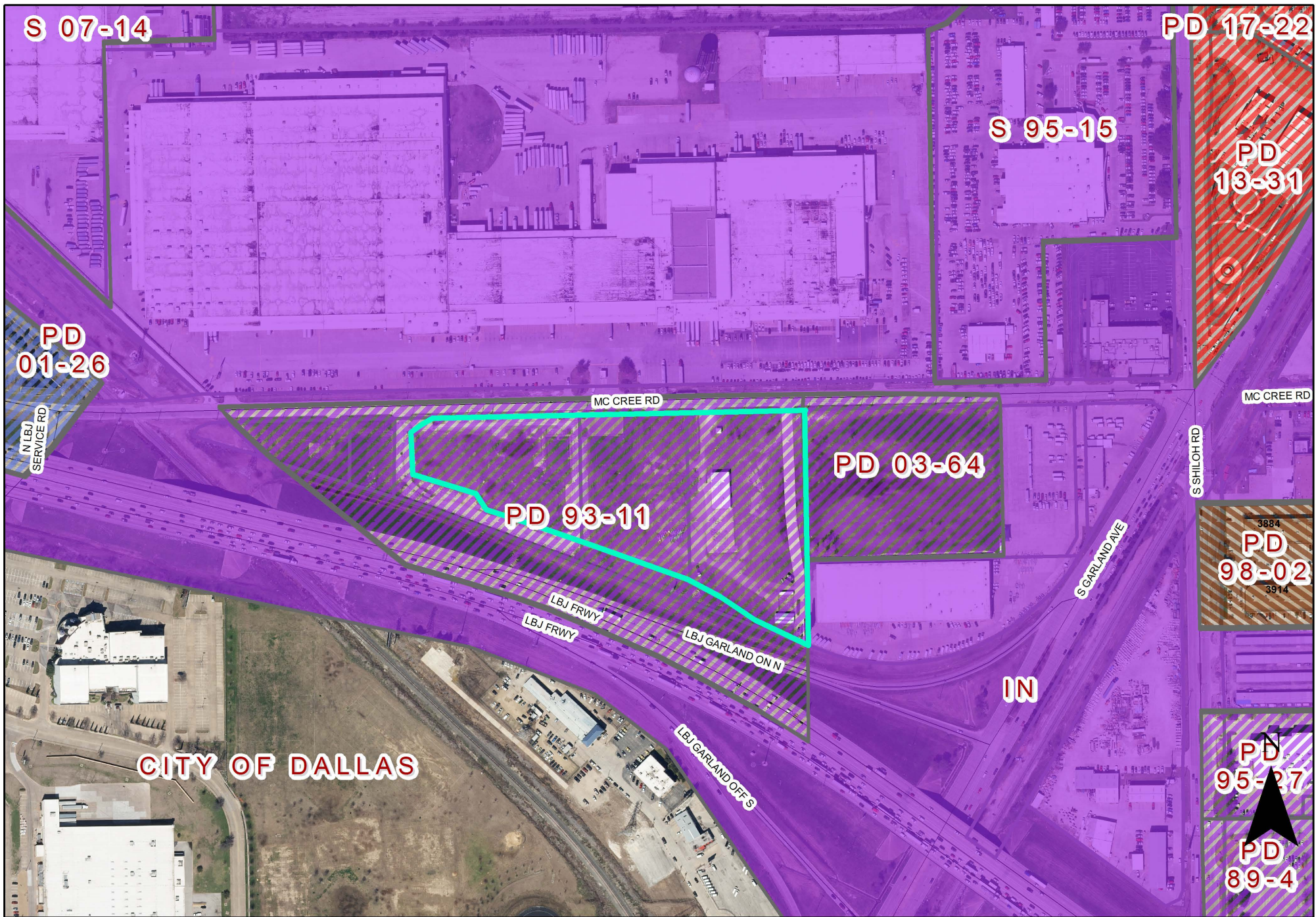
CITY COUNCIL DATE: August 18, 2020

PREPARED BY:

Nabiha Ahmed
Development Planner
Planning & Community Development
972-205-2453
nahmed@garlandtx.gov

REVIEWED BY:

Will Guerin, AICP
Director of Planning



Zoning Map Z 19-27



INDICATES AREA
OF REQUEST

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE Z 19-27

2700-2816 McCree Road

I. Statement of Purpose: The purpose of this Planned Development is to approve a Detail Plan for a Truck/Bus Repair Use for "Sub-District A".

II. Statement of Effect: This Planned Development shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, and Planned Development (PD) 93-11 District as amended prior to adoption of this ordinance, except as specifically provided herein.

III. General Regulations: All regulations of the Industrial (IN) District as set forth in Chapter 2 of the Garland Development Code and Planned Development (PD) 93-11 District are included by reference and shall apply, except as otherwise specified by this ordinance.

IV. Development Plans:

Detail Plan: Development shall be in general conformance with the Detail Plan labeled Exhibit C through Exhibit E. In the event there is conflict between the approved Detail Plan and the Specific Regulations below, the Specific Regulations shall apply. Future developments in Sub-District B are not required to receive approval of a Detail Plan.

V. Specific Conditions:

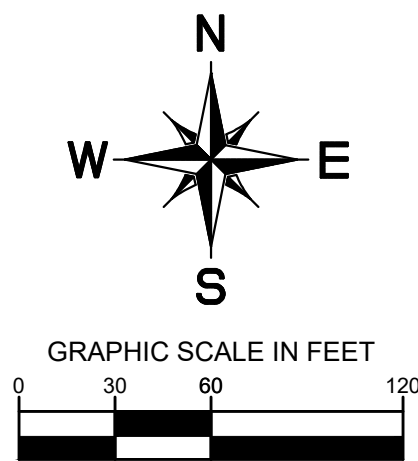
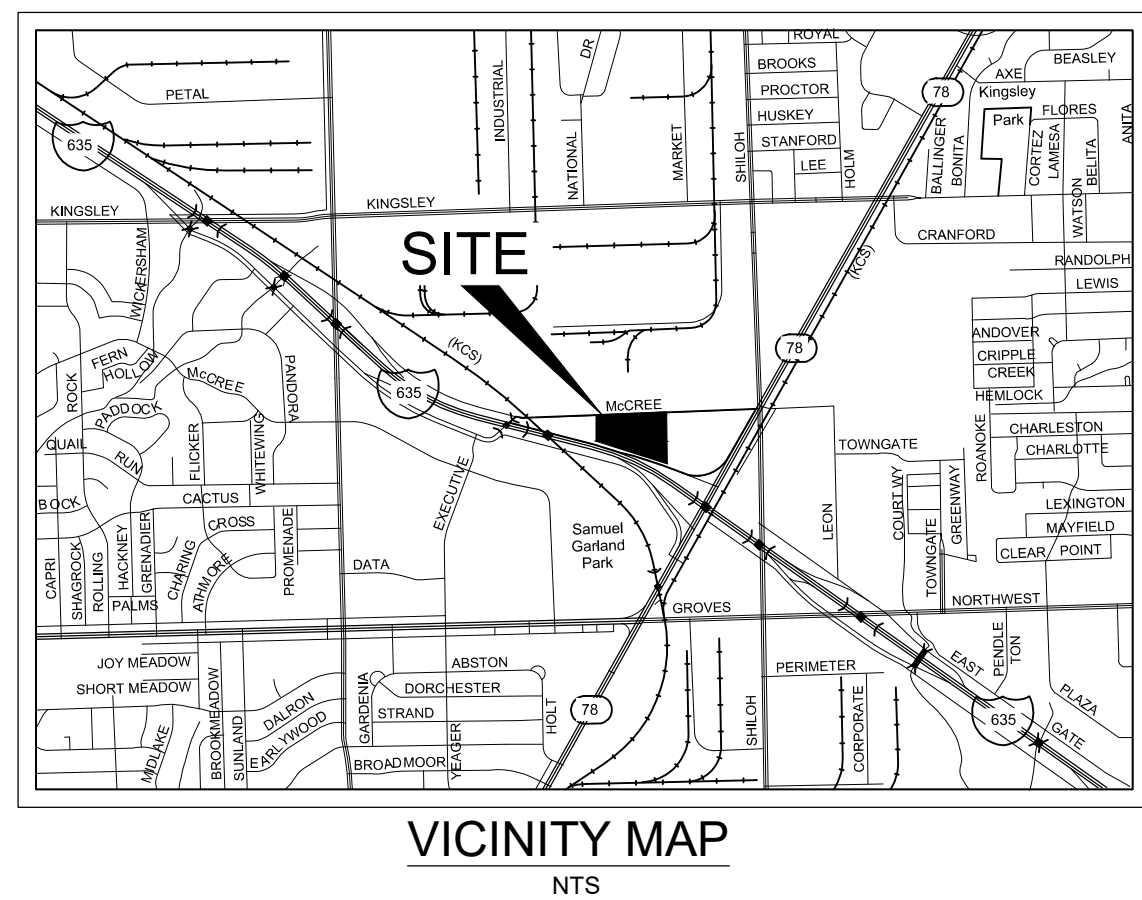
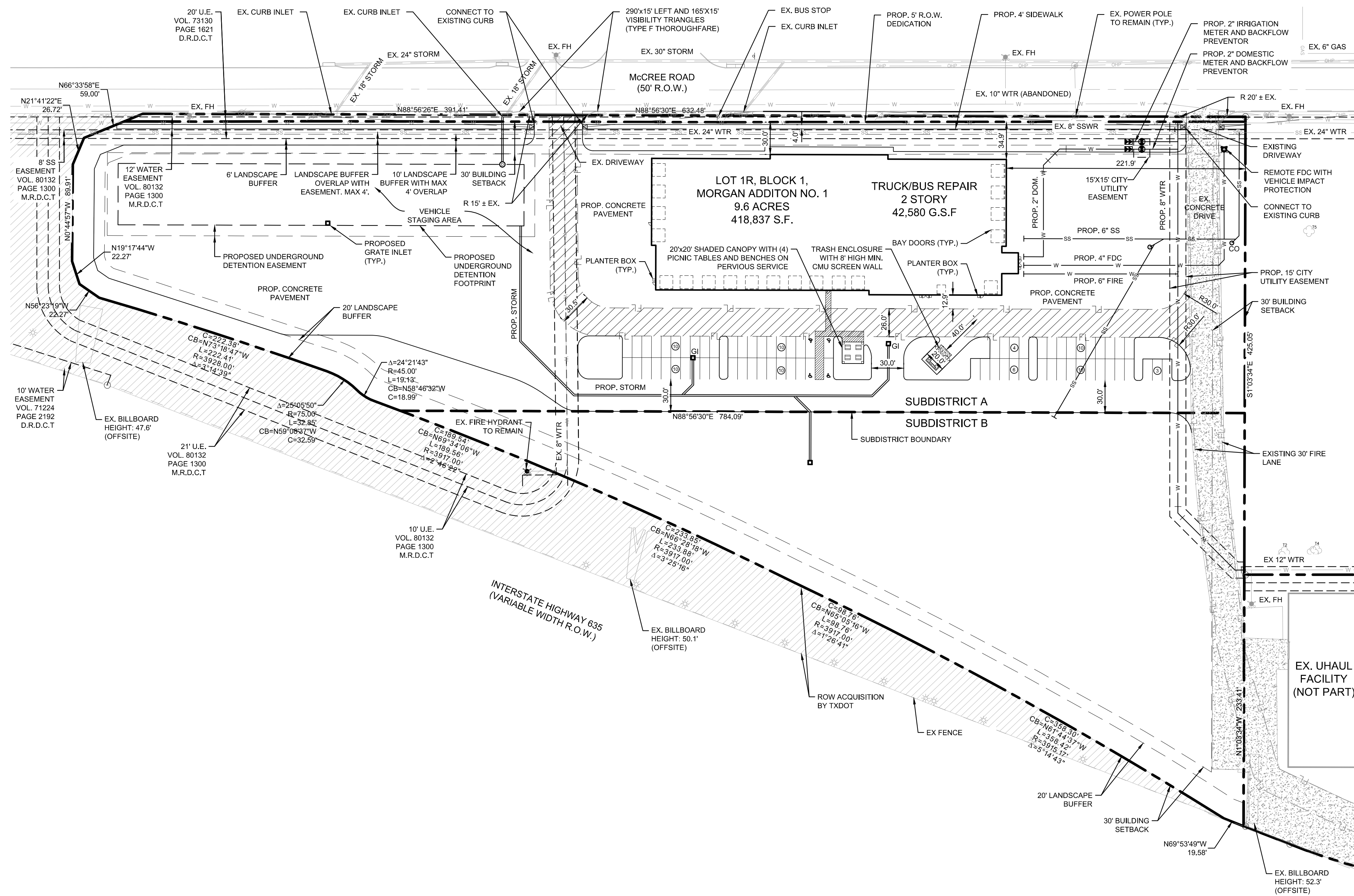
A. Permitted Uses: Land Uses are permitted as in Planned Development (PD) District 93-11., additionally:

- a. Truck/Bus Repair Use will be allowed by right only in Sub-district A, and is limited to: "Preventative Maintenance" including oil/filter changes, tire changes and rotation, minor van body repairs and yearly inspection of brakes and electrical equipment for trailers; major repairs are not permitted.
- b. Overnight parking or storage of 18-wheelers (tractor cabs and trailers) and any vehicles not related to the on-site business is prohibited.
- c. Sub-district B shall not be used for vehicle storage or parking in association with the

Truck/Bus Repair Use on Sub-district A.

- B. Site Plan: The site layout, building placement, parking and other development proposed shall be in general conformance with the approved Site Plan labeled Exhibit C.
- C. Automotive Service Bays: The automotive service bays are allowed to face the IH-635 frontage road.
- D. Landscape Plan: Screening and landscaping shall be in general conformance with the landscape plan labeled Exhibit D.
- E. Elevations: Building Elevations shall be in general conformance with the elevations labeled Exhibit E.

EXHIBIT C



LEGEND	
PROPERTY LINE	
PROPOSED FIRELANE	
SUBDISTRICT BOUNDARY	

SUBDISTRICT A SITE DATA SUMMARY TABLE	
TOTAL AREA OF SITE	9.62 AC (418,837 SF)
SUBDISTRICT A TOTAL AREA (AC/SF)	6.41 AC (279,369 SF)
FLOOR AREA RATIO	0.11
IMPERVIOUS SURFACE COVER	4.96 AC (216,196 SF)
BUILDING COVERAGE	0.94 AC (41,075 SF)
BUILDING COVERAGE PERMITTED	60%
BUILDING COVERAGE (BUILDING AREA ONLY)	15%
OPEN SPACE (REQUIRED)	10%
OPEN SPACE (PROVIDED)	18%
SQUARE FOOTAGE OF EX. BUILDINGS	N/A
SQUARE FOOTAGE OF PROP. BUILDING	42,580 SF
BUILDING HEIGHT (PERMITTED)	ANY LEGAL HEIGHT
BUILDING HEIGHT (PROPOSED)	29'
USE	TRUCK/BUS REPAIR
FINISH FLOOR ELEVATION	600
NUMBER OF STORIES	2
PARKING SPACES (1 / 600 GFA REQUIRED)	71
PARKING SPACES (PROVIDED)	73
PARKING SURFACE MATERIAL	CONCRETE

[illegible]

Kimley»»Horn
13455 NOEL ROAD, TWO GALLERIA OFFICE
TOWER, SUITE 700, DALLAS, TX 75240
PHONE: 972-770-1300 FAX: 972-239-3820
WWW.KIMLEY-HORN.COM TX F-928
© 2002 KIMLEY-HORN AND ASSOCIATES, INC.

THE DETAILED SITE PLAN IS FOR CITY REVIEW ONLY TO ILLUSTRATE COMPLIANCE WITH ZONING AND DEVELOPMENT REGULATIONS. IT IS NOT INTENDED FOR CONSTRUCTION PURPOSES.

KHA PROJECT	DATE
064444109	07/09/2020
SCALE	AS SHOWN
DESIGNED BY	JAF
DRAWN BY	ARW
CHECKED BY	JAF

U-HAUL - GARLAND, TX
PREPARED FOR
U-HAUL INTERNATIONAL &
AMERCO REAL ESTATE CO.
LOT 1R, BLOCK 1,
MORGAN ADDITION NO. 1
CITY OF GARLAND, TEXAS

SHEET NUMBER

SP-01

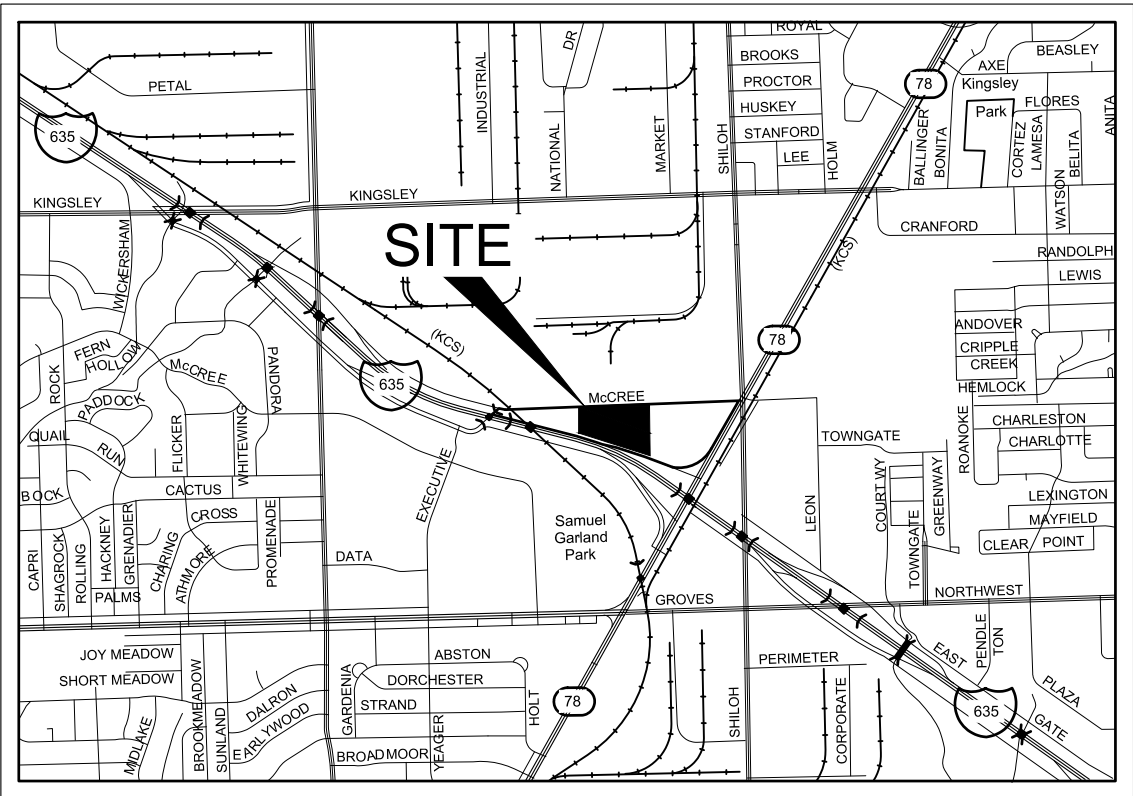
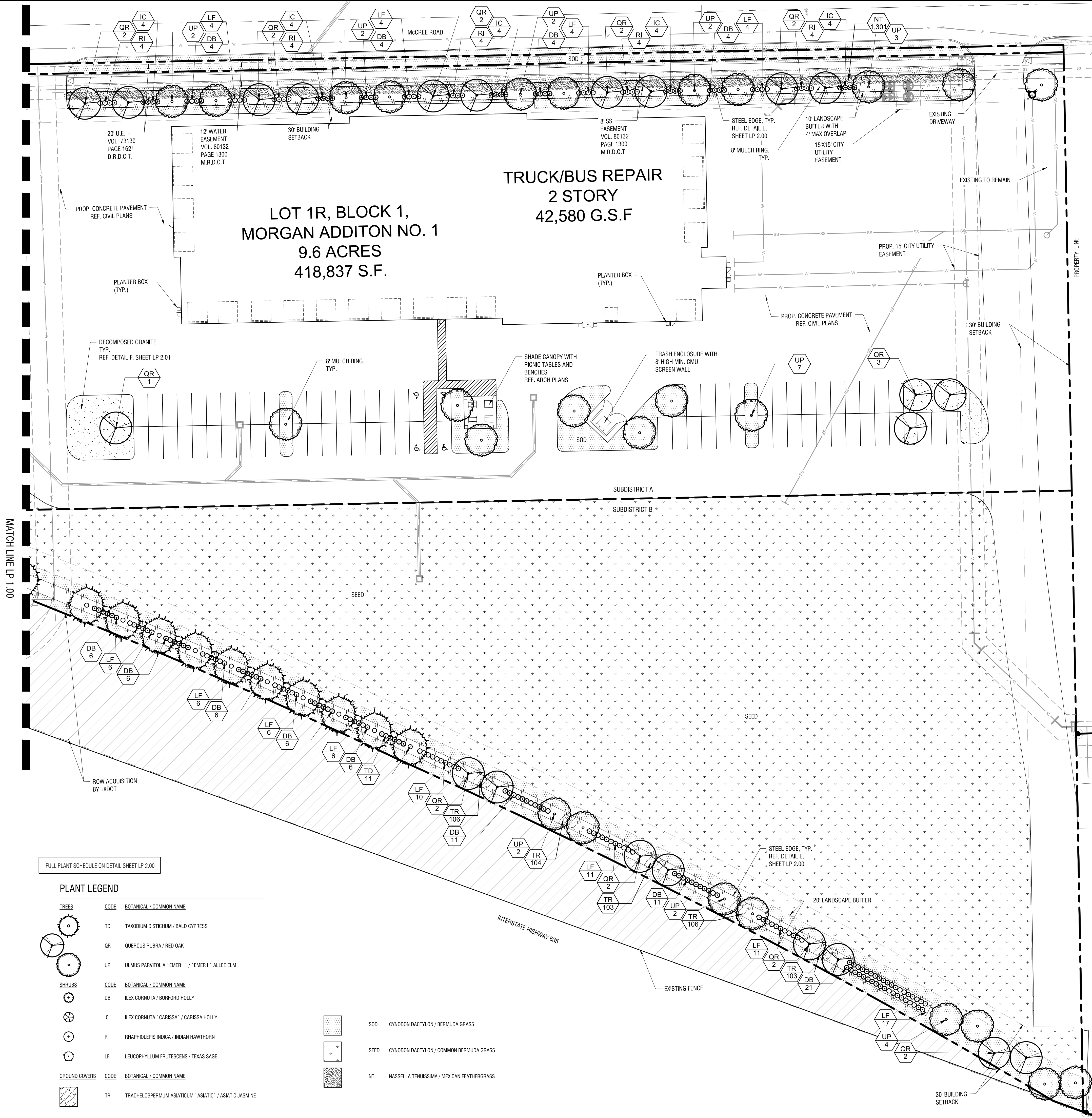
**PLANNED DEVELOPMENT SITE PLAN
LOT 1R, BLOCK 1, MORGAN ADDITON NO. 1
UHAUL GARLAND
SWC McCREE ROAD & S SHILOH ROAD
GARLAND, TEXAS
SUBMITTED: JULY 9, 2020**

APPLICANT/OWNER:	ENGINEER/SURVEYOR:
AMERCO REAL ESTATE COMPANY	KIMLEY-HORN AND ASSOCIATES, INC.
2767 N. CENTRAL AVE	13455 NOEL ROAD, TWO GALLERIA
PHOENIX, ARIZONA 85004	OFFICE TOWER, SUITE 700
TEL. NO. 602-263-5824	DALLAS, TEXAS 75240
CONTACT: DAVID POLLOCK	TEL. NO. 972 770- 1368
	CONTACT: JOE FRACCARO P.E.

KHA PROJECT	DATE
064444109	07/09/2020
SCALE	AS SHOWN
DESIGNED BY	LLL
DRAWN BY	AMP
CHECKED BY	PBH

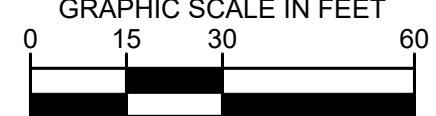
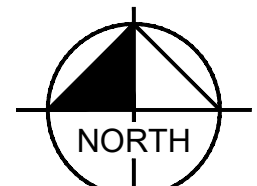
DATE: 07/09/2020
DRAWN BY: KIMLEY-HORN
CHECKED BY: KIMLEY-HORN
PROJECT: UHAUL GARLAND, TX
SHEET: LANDSCAPE
CASE NO. 190723-2

This document, together with the concepts and designs presented herein, is an instrument of service, is intended only for the specific purpose and client for which it was prepared. No part of this document shall be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without prior written permission from Kimley-Horn and Associates, Inc.



City of Garland Landscape Requirements - Article III - Section 4		
LANDSCAPE SUMMARY	REQUIRED	PROVIDED (SUBDISTRICT A)
MINIMUM LANDSCAPE AREA REQUIREMENTS		
PERCENTAGE OF TOTAL SITE IN PERMANENT LANDSCAPING (418,837 SF x 10% = 41,884 SF)	10% (41,884 SF)	23% (178,624 SF)
NO MORE THAN 50% OF TOTAL TREES TO BE ONE SPECIES (11 BALD CYPRESS, 35 RED OAK, 42 ALLEE ELM) = 88 TREES x 50% = 44 (NO MORE THAN 44 TREES CAN BE ONE SPECIES)	YES	YES
MINIMUM STREET BUFFER REQUIREMENTS		
FOR EVERY 30 LINEAR FEET, OR FRACTION THEREOF, ONE LARGE CANOPY TREE IS REQUIRED ALONG WITH SEVEN SHRUBS OR ORNAMENTAL GRASSES INTERSTATE 635 (TYPE A-A) (1,328 LF FRONTAGE / 30 = 45 CANOPY TREES & 315 SHRUBS)	45 CANOPY TREES 315 SHRUBS	45 CANOPY TREES 316 SHRUBS
FOR EVERY THIRTY LINEAR FEET, OR FRACTION THEREOF, ONE LARGE CANOPY TREE IS REQUIRED McCree Road (TYPE F) (960 LF FRONTAGE / 30 = 32 CANOPY TREES)	32 CANOPY TREES	32 CANOPY TREES
SCREENING PARKING LOTS ADJACENT TO STREETS (CONTINUOUS OR UNDULATING ROW OF SHRUBS OR ORNAMENTAL GRASSES THAT ARE A MINIMUM OF TWENTY-FOUR INCHES IN HEIGHT AT INSTALLATION)	YES	YES
TURF (GRASS) MUST PROVIDE A MAXIMUM OF SEVENTY-FIVE PERCENT OF COVERAGE WITHIN THE LOT AREA. 109,642 SF x 5% = 5,483 SF A LANDSCAPED ISLAND MUST BE LOCATED AT THE TERMINUS OF EACH PARKING ROW, AND MUST CONTAIN A MINIMUM OF ONE LARGE CANOPY TREE ONE LARGE CANOPY TREE IS REQUIRED FOR EVERY 10 PARKING SPACES 73 PARKING SPACES / 10 = 8 TREES HAVE A LARGE CANOPY TREE WITHIN AT LEAST 65 FEET OF EVERY PARKING SPACE	YES	YES
INTERIOR LANDSCAPE REQUIREMENTS		
LIVING LANDSCAPE MATERIALS MUST COVER A MINIMUM OF FIVE PERCENT OF THE TOTAL PARKING LOT AREA. 109,642 SF x 5% = 5,483 SF	5,483 SF	6,340 SF
A LANDSCAPED ISLAND MUST BE LOCATED AT THE TERMINUS OF EACH PARKING ROW, AND MUST CONTAIN A MINIMUM OF ONE LARGE CANOPY TREE	YES	YES
ONE LARGE CANOPY TREE IS REQUIRED FOR EVERY 10 PARKING SPACES 73 PARKING SPACES / 10 = 8 TREES	8 CANOPY TREES	8 CANOPY TREES
HAVE A LARGE CANOPY TREE WITHIN AT LEAST 65 FEET OF EVERY PARKING SPACE	YES	YES
DETENTION POND LANDSCAPE REQUIREMENTS		
TREES, ORNAMENTAL GRASSES, SHRUBS, AND GROUND COVER ARE REQUIRED AROUND THE PERIMETER OF A DETENTION AND RETENTION POND, LOCATED WITHIN ONE HUNDRED FEET OF A TYPE D OR LARGER THOROUGHFARE.	N/A	N/A
SCREENING REFUSE CONTAINERS		
MUST BE SCREENED ON THREE SIDES WITH A MINIMUM SIX-FOOT TALL MASONRY WALL	YES	YES

- NOTE:
- ALL LANDSCAPE AREAS MUST BE IRRIGATED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM EQUIPPED WITH OPERATING RAIN/FREEZE SENSORS.
 - ALL BED AREAS MUST BE SEPARATED FROM TURF AREAS BY STEEL EDGE.
 - THE PROPERTY OWNER MUST MAINTAIN ALL LANDSCAPING IN ACCORDANCE WITH THE LANDSCAPE PLAN APPROVED BY THE CITY.
 - CONTRACTOR TO SEED ALL DISTURBED AREAS.



LANDSCAPE PLAN
UHAUL GARLAND
SWC McCREE ROAD & S SHILOH ROAD
GARLAND, TEXAS
SUBMITTED: JULY 9, 2020

APPLICANT/OWNER:
AMERCO REAL ESTATE COMPANY
2727 N. CENTRAL AVE
PHOENIX, ARIZONA 85004
TEL. NO. 602-263-5824
CONTACT: DAVID POLLUCK

LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
13455 NOEL ROAD, TWO GALLERIA OFFICE
PHOENIX, ARIZONA 85004
TEL. NO. 602-263-5824
CONTACT: PATRICK B. HART, P.L.A.

Kimley-Horn
13455 NOEL ROAD, TWO GALLERIA OFFICE
PHOENIX, ARIZONA 85004
TEL. NO. 602-263-5824
FAX: 972-263-5820
WWW.KIMLEY-HORN.COM
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FOR REVIEW ONLY
Not for construction or permit purposes.
Kimley-Horn
P.L.A. - PATRICK B. HART
L.A. No. 2839 Date: JULY 2020

KHA PROJECT	064444109
DATE	07/09/2020
SCALE	AS SHOWN
DESIGNED BY	LLL
DRAWN BY	AMP
CHECKED BY	PBH

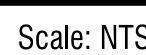
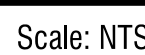
U-HAUL - GARLAND, TX
PREPARED FOR
U-HAUL INTERNATIONAL &
AMERCO REAL ESTATE CO.
LOT 1R, BLOCK 1,
MORGAN ADDITON NO. 1
CITY OF GARLAND, TEXAS

LANDSCAPE PLAN
CASE NO. 190723-2

SHEET NUMBER
LP 1.01

Scale: 1 1/2" = 1'-0"

Scale: 1 1/2"=1'-0"



SHEET NUMBER
LP 2.00



Garland Shop

Date:

July 6th 2020

Description:

Paint Callout

Client:



365000

Location:

12215 LBJ Fwy,
Garland, TX 75041

Project Status:

Conceptual
Pending Approval
365000 MSTR ART NH01

Jobs Accomplished:

Concept Design - 6
Design Presentation - 6

Additional Notes:

NORTH ELEVATION



ARCHITECTURAL DESIGN & FACILITY IMAGING



MBCI
Igloo
White



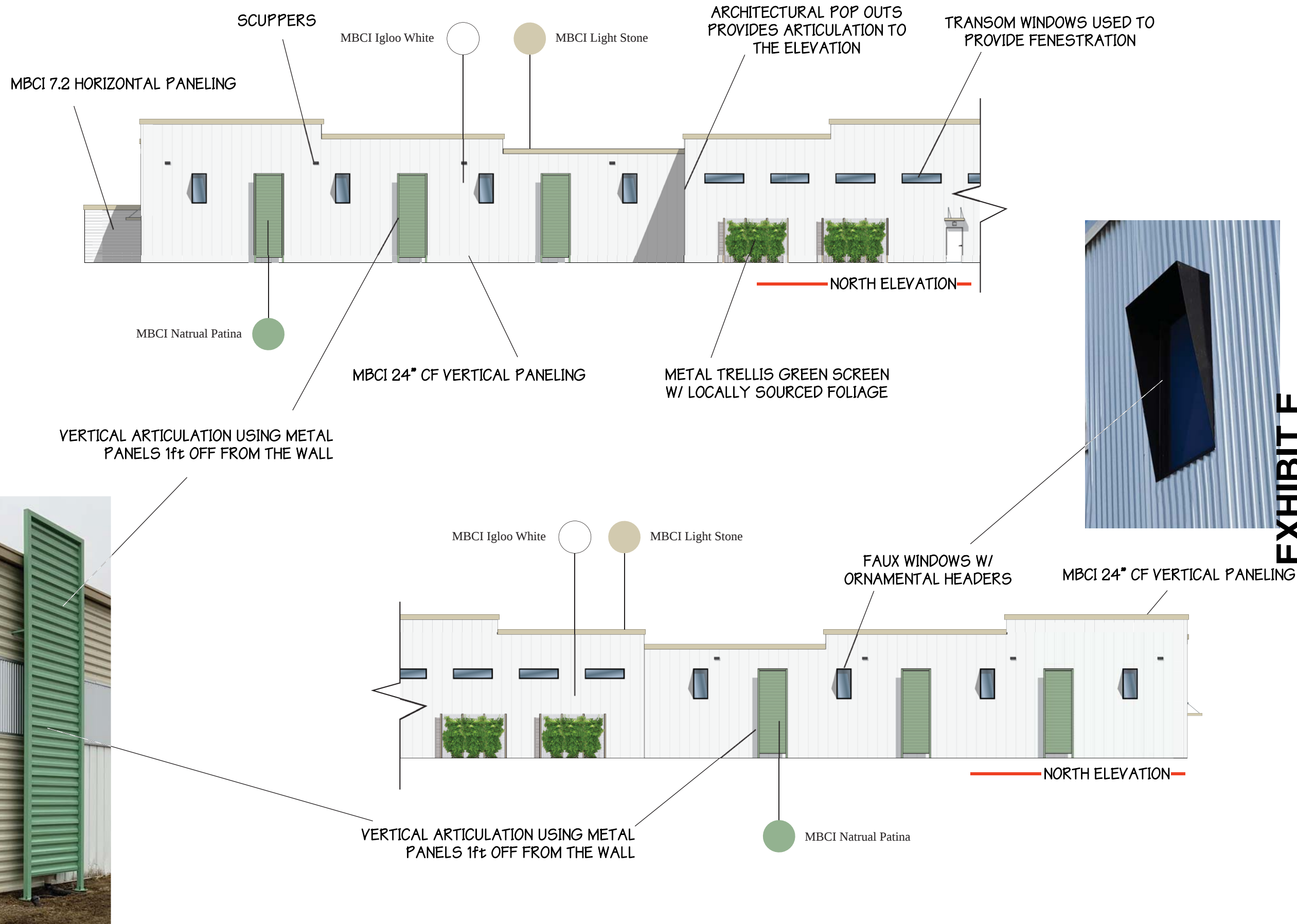
MBCI
Light Stone



Eggshell
Blue-Black
(SW)



MBCI
Natural
Patina



U-HAUL
Garland Shop

Date:
July 6th 2020

Description:
Paint Callout

Client:
U-HAUL 365000

Location:
12215 LBJ Fwy,
Garland, TX 75041

Project Status:
Conceptual
Pending Approval
365000 MSTR ART NH01

Jobs Accomplished:
Concept Design - 6
Design Presentation - 6

Additional Notes:

EAST ELEVATION



MBCI
Igloo
White



MBCI
Light Stone



Eggshell
Blue-Black
(SW)

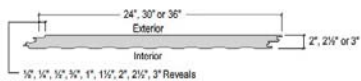
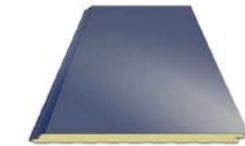


CF ARCHITECTURAL & CF ARCHITECTURAL/ HORIZONTAL

The CF Architectural (vertical) and CF Architectural/Horizontal wall panel employs a flat appearance providing a monolithic look that is great for high-profile architectural applications. The panel allows designers to mix multiple panel widths and colors on the same wall. It also allows flexibility for continuous corners along with a complete line of aluminum extrusions and accessories to complete the wall system. When desired, these panels can also be mixed with vertical or horizontal panels to achieve almost any look a design requires, and can be used in vertical or horizontal applications.

Product Specifications

- Application: Wall (vertical and horizontal)
- Gauges: Exterior: 22 | Interior: 26 (standard); 24, 22 (optional)
- Widths: 24", 30", 36"
- Thicknesses: 2", 2 1/2", 3" (4" available for vertical)
- Length: 8'-0" to 32'-0" for embossed; 8'-0" to 16'-0" for unembossed
- Panel Attachment: Concealed Fastening System
- Standard Coatings: Signature® 300, Signature® 300 Metallic
- Reveal: Up to 1" reveal options in 1/8" increments or up to 3" reveal options in 1/2" increments



7.2 PANEL

When your design calls for a commercial or industrial exposed fastener panel, the 7.2 Panel is an ideal choice. This panel offers versatility and functionality for roofs and walls. The symmetrical rib 7.2 Panel offers excellent spanning and cantilever capabilities, making it an excellent choice for carports and walkway canopies. When used on walls, the 7.2 Panel is typically ordered as "reverse rolled" and can be installed either vertically or horizontally.

Product Specifications

- Applications: Roof and Wall
- Coverage Width: 36"
- Rib Spacing: 7.2" on Center
- Rib Height: 1 1/2"
- Minimum Slope: 1/4:12
- Panel Attachment: Exposed Fastening System
- Gauges: 24 (standard); 26, 22 (optional)
- Finishes: Smooth (standard); Embossed (optional)
- Coatings: Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic

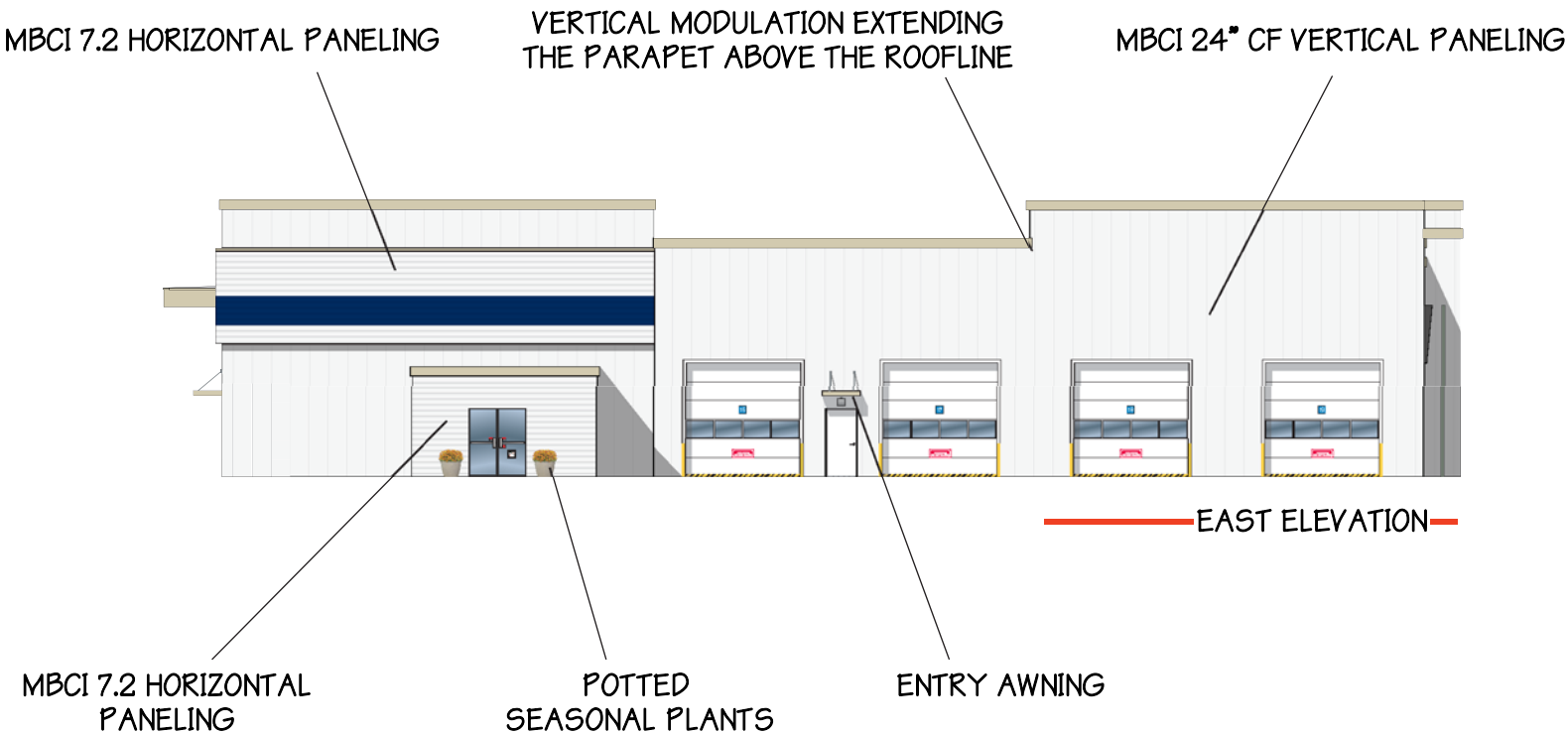
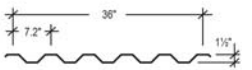


EXHIBIT E

U-HAUL
Garland Shop

Date:
July 6th 2020

Description:
Paint Callout

Client:
U-HAUL 365000

Location:
12215 LBJ Fwy,
Garland, TX 75041

Project Status:
Conceptual
Pending Approval
365000 MSTR ART NH01

Jobs Accomplished:
Concept Design - 6
Design Presentation - 6

Additional Notes:

SOUTH ELEVATION

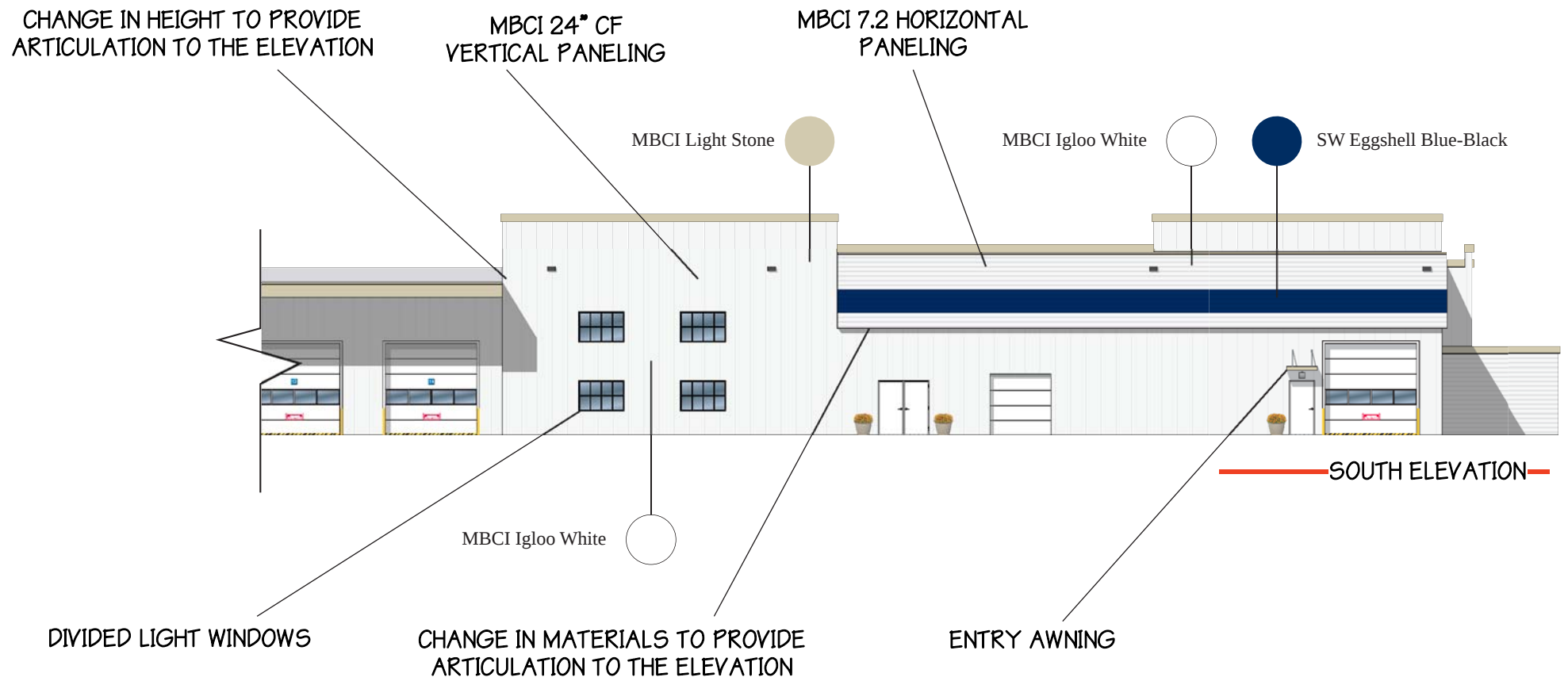
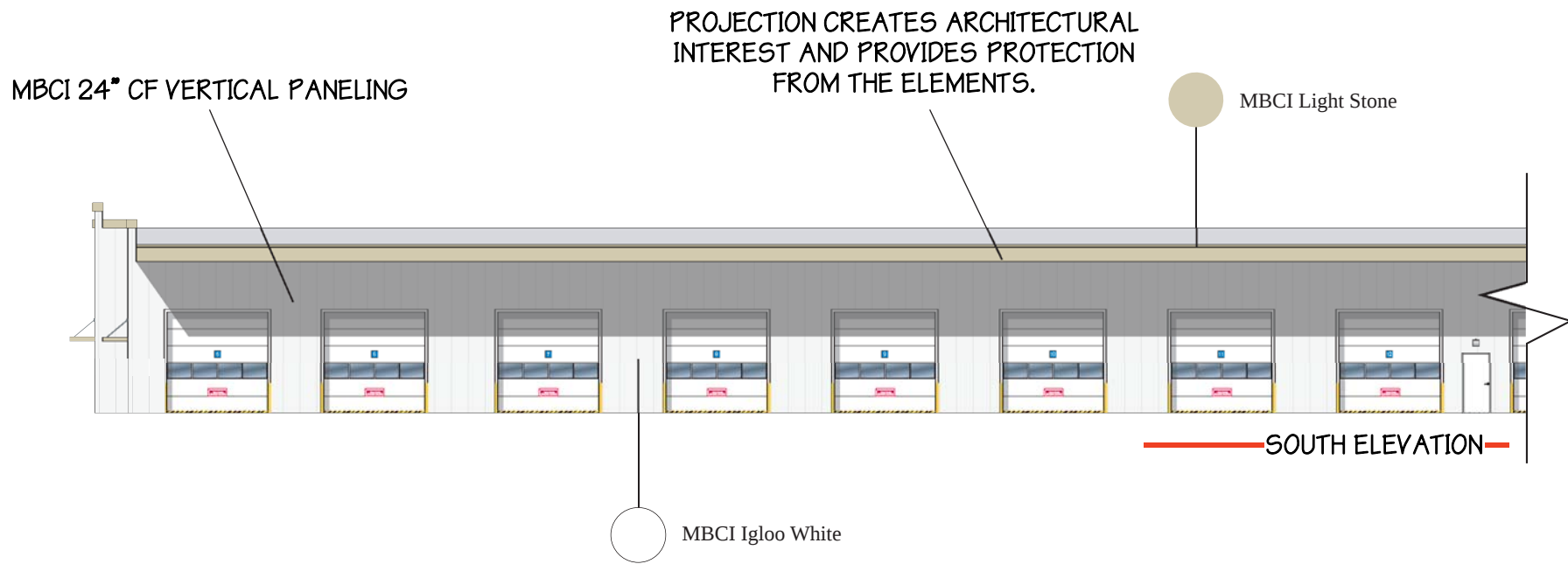


EXHIBIT E

U-HAUL
Garland Shop

Date:
July 6th 2020

Description:
Paint Callout

Client:
U-HAUL 365000

Location:
12215 LBJ Fwy,
Garland, TX 75041

Project Status:
Conceptual
Pending Approval
365000 MSTR ART NH01

Jobs Accomplished:
Concept Design - 6
Design Presentation - 6

Additional Notes:

WEST ELEVATION



MBCI
Igloo
White



MBCI
Light Stone



Eggshell
Blue-Black
(SW)



MBCI
Natural
Patina



WEST ELEVATION

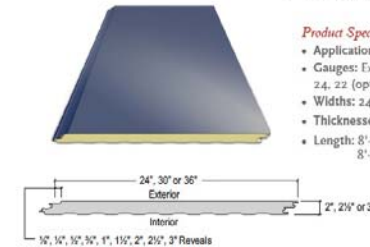
CF ARCHITECTURAL & CF ARCHITECTURAL/ HORIZONTAL

The CF Architectural (vertical) and CF Architectural/Horizontal wall panel employs a flat appearance providing a monolithic look that is great for high-profile architectural applications. The panel allows designers to mix multiple panel widths and colors on the same wall. It also allows flexibility for continuous corners along with a complete line of aluminum extrusions and accessories to complete the wall system. When desired, these panels can also be mixed with vertical or horizontal panels to achieve almost any look a design requires, and can be used in vertical or horizontal applications.

Product Specifications

- Application: Wall (vertical and horizontal)
- Gauges: Exterior: 22 | Interior: 26 (standard); 24, 22 (optional)
- Widths: 24", 30", 36"
- Thicknesses: 2", 2½", 3" (4" available for vertical)
- Length: 8'-0" to 32'-0" for embossed
8'-0" to 16'-0" for unembossed

- Panel Attachment: Concealed Fastening System
- Standard Coatings: Signature® 300, Signature® 300 Metallic
- Reveal: Up to 1" reveal options in ¼" increments or up to 3" reveal options in ½" increments



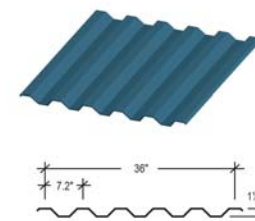
7.2 PANEL

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Product Specifications

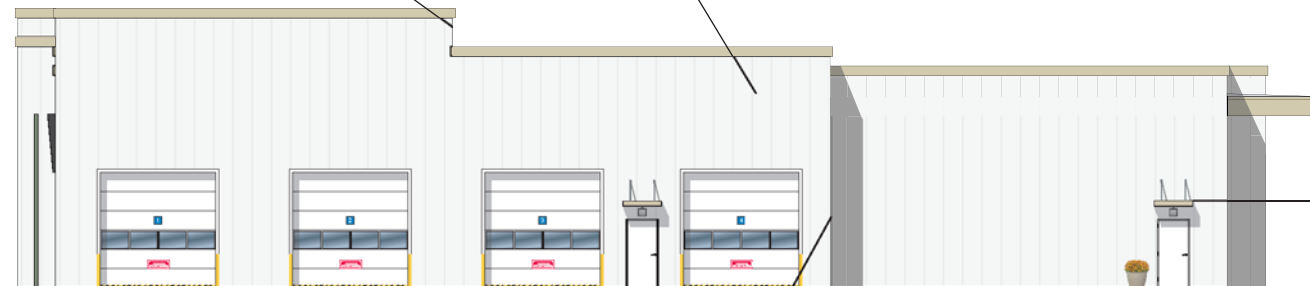
- Applications: Roof and Wall
- Coverage Width: 36"
- Rib Spacing: 7.2" on Center
- Rib Height: 1½"
- Minimum Slope: ¼:12

- Panel Attachment: Exposed Fastening System
- Gauges: 24 (standard); 26, 22 (optional)
- Finishes: Smooth (standard); Embossed (optional)
- Coatings: Galvalume Plus®, Signature® 200, Signature® 300, Signature® 300 Metallic



VERTICAL MODULATION EXTENDING
THE PARAPET ABOVE THE ROOFLINE

MBCI 24" CF VERTICAL PANELING



ENTRY AWNING

WEST ELEVATION

ARCHITECTURAL POP OUTS
PROVIDES ARTICULATION TO
THE ELEVATION

EXHIBIT E



North of the subject property from McCree Road



View of Subject Property from McCree Road



East of subject property



West of Subject Property



GARLAND

Plan Commission

3. b.

Meeting Date: 07/27/2020

Item Title: Z 20-20 RaceTrac Petroleum, Inc. (District 6)

Summary:

Consideration of the application of **RaceTrac Petroleum, Inc.**, requesting approval of a Change of Zoning from Community Retail (CR) District with Specific Use Provision S 06-65 for Fuel Pumps, Retail, to Heavy Commercial (HC) District. This property is located at 4214 Forest Lane. (District 6) (Z 20-20)

Attachments

Z 20-20 RaceTrac Petroleum, Inc. Report and Attachments

Planning Report

File No: Z 20-20/District 6

Agenda Item:

Meeting: Plan Commission

Date: July 27, 2020



GARLAND

TEXAS MADE HERE

REQUEST

Approval of a Change of Zoning from Community Retail (CR) District with a Specific Use Provision 06-65 for Fuel Pumps, Retail, to Heavy Commercial (HC) District.

LOCATION

4214 Forest Lane

APPLICANT

RaceTrac Petroleum, Inc.

OWNER

Getty Leasing, Inc.

BACKGROUND

In 2006 City Council approved a Specific Use Provision to allow Retail Sales with Gas Pumps for 20 years. Along with the Specific Use Provision, City Council approved a change of zoning from Commercial-2 (C-2) District and Industrial-1 (I-1) District to General Business (GB) District. This action allowed the development of the existing fuel pumps and convenience store.

In 2015 the Garland Development Code (GDC) was adopted, which resulted in the following District changes:

<u>From</u>	<u>To</u>
General Business (GB)	Community Retail (CR) (Fuel Pumps allowed with SUP only)
Commercial-2 (C-2)	Heavy Commercial (HC) (Fuel Pumps Allowed)
Industrial-1 (I-1)	Industrial (IN) (Fuel Pumps Allowed)

Rather than renew the SUP, the applicant requests approval of a Change in Zoning from Community Retail (CR) District to Heavy Commercial (HC) District to allow the gas sales [Fuel Pumps, Retail] use by right. The applicant is proposing "to make internal facility upgrades, including new product offerings and updated customer experience, as well as facility maintenance items with freshening of the building exterior and pavement repair and replacement."

SITE DATA

The site contains approximately 2.1 acres lot with approximately 275 lineal feet of frontage along Forest Lane and 232 lineal feet along Easy Street; both streets are used as access points to and from the property.

USE OF PROPERTY UNDER CURRENT ZONING

The Community Retail (CR) District is intended to accommodate a variety of retail, service, and business establishments that may or may not be designed in a shopping center configuration. The district may be used as a transition district between lower intensity retail or office uses and more intense uses. A CR District is generally appropriate along major transportation corridors but is generally not appropriate in proximity to low-density residential districts without significant buffering and screening features. An example of allowed use in a CR District is a retail shopping area that may be large in scale with very limited or no outside storage. Traffic generated by uses in a CR District must be focused onto the major thoroughfare network. The existing business establishment was developed with a Specific Use Provision in 2006 that allows Retail Sales with Gas Pumps for 20 years in the CR District.

CONSIDERATIONS

Change in Zoning

1. The request is a traditional rezoning without the formation of a Planned Development (PD) District. This request does not require Detail Plan approval to commence or direct development. Development is dependent on the standards set forth by the Garland Development Code (GDC) and the goals and policies established within the Envision Garland 2030 Comprehensive Plan. A Change in Zoning is not intended to restrict uses or secure development performances beyond what is permitted within the proposed zoning district and the GDC. Accordingly, the GDC requires careful consideration as to how closely the proposed district follows the policies of the Envision Garland 2030 Comprehensive Plan, and to what degree the rezoning will impact surrounding and future development.
2. The Heavy Commercial (HC) District is intended to provide locations for commercial and service-related establishments, such as building material and wholesale products sales, contractors' shops, automotive repair, upholstery shops, and other similar commercial uses. Additionally, Fuel Pumps and Convenience Retail uses are permitted in the HC District without the need for a Specific Use Provision. The applicant requests to rezone the site to Heavy Commercial to be consistent with the uses allowed and existing on the surrounding properties that are zoned Heavy Commercial (HC) District along Forest Lane and Easy Street.
3. The GDC provides the tools to ensure that development standards, which promote efficient use of land and resources and which are supportive of the policies of the Comprehensive Plan are incorporated into site development, including but not limited to building and site design. Therefore, the existing development meets the GDC building requirements.
4. The intent of the request is to allow the existing use by right and be consistent with the surrounding area by rezoning the property to Heavy Commercial (HC) District.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Plan recommends Industry Center for the subject property. Industry Centers provide a cluster of trade and industry that cumulatively employ large numbers of people. Operations within this development type may require substantial infrastructure and may result in more significant negative impacts (sound, air, traffic, outdoor lighting, storage, etc.). Operations may include such elements as semi-truck traffic, loading docks, and visible outdoor storage. Overall, the architecture, character, scale, and intensity should be compatible with adjacent development types.

Industry centers are generally located along major arterial streets and highways and at significant transit areas (bus/ rail). Site design addresses function and visual aesthetics that provide appropriate buffering at gateway corridors, between adjacent developments, and for residential neighborhoods.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The properties to the west and north, across Forest Lane, are zoned Heavy Commercial (HC) District, consisting of new and used car sales, repair shops, and an auto parts store. The property to the east and south is zoned Industrial District (IN) District, consisting of a trucking repair shop, At Home warehouse, manufacturing business and auto repair shop.

STAFF RECOMMENDATION

Staff recommends approval of a Change in Zoning from Community Retail (CR) District with a Specific Use Provision 06-65 for Fuel Pumps, Retail, to Heavy Commercial (HC) District.

ADDITIONAL INFORMATION

- i. Location Map
- ii. Photos

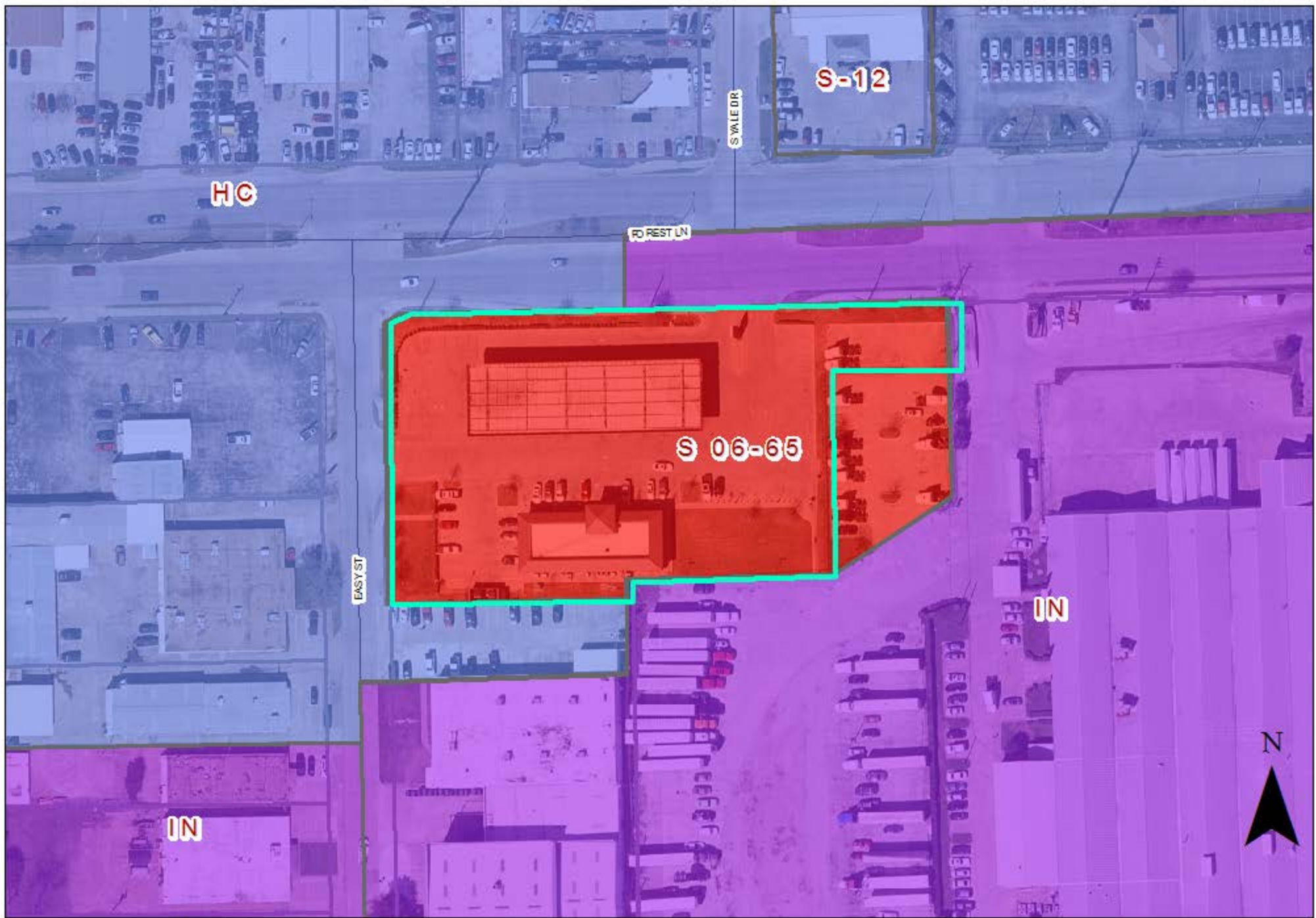
CITY COUNCIL DATE: August 18, 2020

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REVIEWED BY:

Will Guerin, AICP
Director of Planning



0 75 150 Feet
1 inch = 104 feet

Zoning File Z 20-20



INDICATES AREA
OF REQUEST

Z 20-20



View of the subject property from Forest Lane.



View of the property to the south.



View of the property from the west.



View of the property from the east.