



GARLAND

NOTICE OF MEETING CITY OF GARLAND, TEXAS

PLAN COMMISSION
City Hall, Council Chambers
William E. Dollar Municipal Building
200 N. Fifth Street
Garland, Texas
August 12, 2024 at 7:00 p.m.

A meeting of the Plan Commission of the City of Garland, Texas will be held at the aforementioned location, date, and time to discuss and consider the following agenda items.

A pre-meeting will begin at 6:15 p.m. at the same location as the regular meeting. The agenda for the pre-meeting is the same as for the regular meeting, and may include additional items as set forth below.

INVOCATION AND PLEDGE OF ALLEGIANCE: It is the custom and tradition of the members of the Plan Commission to have an invocation and recital of the Pledge of Allegiance prior to the beginning of the meeting. Members of the audience are invited to participate. However, members of the audience are not required to participate. The decision to participate is strictly a matter of personal choice and has no bearing on matters to be considered by the Plan Commission and will not affect the decisions to be made during the meeting.

The meeting will be broadcast on City of Garland Government Access Television (CGTV). CGTV is available via GarlandTX.gov, channel 16 (Spectrum), Channel 44 (Frontier), and channel 99 (AT&T U-verse). Meetings are broadcast online via live-streaming, on-demand, and air on CGTV with several rebroadcasts during the week of the meeting.

Public Comments

Your comments must relate to an item on this agenda - non-germane comments are not in order. Time limits will be imposed by the Chairman as appropriate to the nature of the agenda item. Generally, public speakers are given three minutes.

IN-PERSON COMMENTS: Registration will be required for any citizen wishing to speak. Speakers shall register using the electronic registration kiosks in the lobby of City Hall.

Garland City Hall and Council Chambers are wheelchair accessible. Special parking is available on the east side of City Hall and on Austin & State Street west of City Hall. Persons with disabilities who plan to attend this meeting and who may need auxiliary aids or services must contact the City Secretary's Office at (972) 205-2404 at least two working days prior to the meeting so that appropriate arrangements can be made. BRAILLE IS NOT AVAILABLE.

If the Plan Commission adjourns into executive session during this meeting, the executive session will be conducted between and among the members of the Plan Commission and relevant City staff. Public access to that meeting is prohibited by State law.

CONSENT AGENDA

All items under this section are recommended for approval by a single motion of the Plan Commission, without discussion. The Plan Commission has had the opportunity to review each of these items during a pre-meeting. The Chairman will announce the agenda and provide an opportunity for members of the audience and the Plan Commission to request that an item be removed and considered separately.

1. MINUTES

- a. Consider approval of the Plan Commission Minutes for the July 22, 2024 meeting.

ITEMS FOR INDIVIDUAL CONSIDERATION

Speaker Regulations:

Anyone wishing to speak for, against, or on agenda items must fill out a speaker card and give it to the Plan Commission Secretary before speaking (cards are located at the entrance to the Council Chambers). The Chairman will recognize speakers; he may impose a time limit and may provide for rebuttal. All comments and testimony are to be presented from the podium.

2. ZONING

- a. Consideration of the application of **JQ Infrastructure**, requesting approval of an amendment to Planned Development (PD) District 23-46 for Mixed Uses to 1) Amend Table 5-1 (Schedule of Uses) to add the Ground Water Storage Tank Use to the Employment Mixed Use (EMU) Character Zone and 2) a Detail Plan for a Ground Water Storage Tank Use. This property is located at 2301 Lookout Drive. (District 1) (File Z 23-07)
- b. Consideration of the application of **Moin Muhammad**, requesting approval of a Change in Zoning from Industrial (IN) District to Community Retail (CR) District. This property is located at 1010 N Shiloh Road. (District 8) (File Z 24-27)

3. ADJOURN

NOTICE: The Plan Commission may recess from the open session and convene in a closed session if the discussion of any of the listed agenda items concerns matters regarding privileged and unprivileged client information deemed confidential by Rule 1.05 of the Texas Disciplinary Rules of Professional Conduct. Sec. 551.071, Tex. Gov't Code.

NOTE: A quorum of the City Council may be in attendance and may or may not participate in the discussions of the Committee or board.



GARLAND

Plan Commission

1. a.

Meeting Date: 08/12/2024

Item Title: Plan Commission Minutes for July 22, 2024

Summary:

Consider approval of the Plan Commission Minutes for the July 22, 2024 meeting.

Attachments

July 22, 2024 Plan Commission Minutes



GARLAND

MINUTES

The Plan Commission of the City of Garland convened in regular session at 7:00 p.m. on Monday, July 22, 2024, in the Council Chambers at the William E. Dollar Municipal Building, 200 N. Fifth Street, Garland, Texas, with the following members present:

Present: Scott Roberts, Chairman
Julius Jenkins, 1st Vice Chair
Wayne Dalton, 2nd Vice Chair
Georgie Cornelius, Commissioner
Jaric Jones, Commissioner
Patrick Abell, Commissioner
Michael Rose, Commissioner
Bob Duckworth, Commissioner

Absent: Stephanie Paris, Commissioner

Staff Present: Angela Self, Interim Planning Director
Matthew Wolverton, Planner II
Trey Lansford, Deputy City Attorney
Elisa Morales, Recording Secretary

CONSENT AGENDA

All items under this section are recommended for approval by a single motion of the Plan Commission, without discussion. The Plan Commission has had the opportunity to review each of these items during a pre-meeting. The Chairman will announce the agenda and provide an opportunity for members of the audience and the Plan Commission to request that an item be removed and considered separately.

Motion was made by Commissioner Jenkins to **approve** the Consent Agenda. Seconded by Commissioner Abell. **Motion carried: 8 Ayes, 0 Nays.**

1. MINUTES

- a. Consider approval of the Plan Commission Minutes for the July 8, 2024 meeting.

APPROVED

ITEMS FOR INDIVIDUAL CONSIDERATION

Speaker Regulations:

Anyone wishing to speak for, against, or on agenda items must fill out a speaker card and give it to the Plan Commission Secretary before speaking (cards are located at the entrance to the Council Chambers). The Chairman will recognize speakers; he may impose a time limit and may provide for rebuttal. All comments and testimony are to be presented from the podium.

2. ZONING

- a. Consideration of the application of **Mojibola Shobande**, requesting approval of 1) a Specific Use Provision (SUP) for an Automobile Sales, New or Used Use and 2) a Plan for an Automobile Sales, New or Used Use. This property is located at 2723 National Place. (District 5) (File Z 24-13)

DENIED

Motion was made by Commissioner Abell to close the public hearing and **deny** the application as presented. Seconded by Commissioner Rose. **Motion carried: 8 Ayes, 0 Nays.**

- b. Consideration of the application of **R-Delta Engineers, Inc.**, requesting approval of 1) an Amendment to Planned Development (PD) District 85-62 for Industrial and Community Retail Uses and 2) a Concept Plan for a Lineman Training & Bulk Materials Storage. This property is located at 2701 East Centerville Road. (District 2) (File Z 24-26)

DENIED

The applicant, Frank Polma, 618 Main Street, Garland, Texas 75040, provided an overview of the request and remained available for questions.

Commissioner Dalton asked the applicant if they had any intentions of touching the tree line.

The applicant stated that some trees would need to be removed such as those on the far northend of the property. Of the total 55 acres, 43.4 acres is heavily wooded and the applicant is proposing to remove about 3 acres of trees which would be less than 7%. The trees on the heavily wooded buffer will not be touched.

Commissioner Dalton asked the applicant to clarify what would be stored on the storage lot.

The applicant stated that sand and gravel. The applicant further explained that the City has hydrovac excavation units they use to drill holes in the ground to install poles as well as to survey utilities. The byproduct of the drilling is muddy water. The muddy water will be brought back to the proposed site location where it will be discharged in a sloped contained area for it to dry out and then transported to the landfill. The applicant stated that the hydrovac area has a drainage system that will collect any stormwater runoff, route it through the storm sewer into a storm septic system that will remove pollutants before it is discharged into the creek.

Commissioner Dalton asked the applicant to clarify if they will be storing transformers, cables or poles or anything that might have to be picked up at 2 a.m. because of a power outage somewhere in the City.

The applicant stated that he was not aware of that use for the site and that in regards to laying down any poles, GP&L's main pole yard is right across the railroad.

Commissioner Dalton asked the applicant regarding the training area if that would be strictly wood pole climbing or utilizing bucket trucks.

The applicant stated that his guess would be that there might be some bucket truck activity as well as pole climbing.

Commissioner Dalton stated that he would be concerned about a possible noise level regarding the bucket trucks during the day especially during the 7 a.m. timeframe.

Commissioner Jenkins asked the applicant about the storage of other items from the water treatment plant and requested clarification on that.

The applicant stated that there were some misconceptions regarding the other items. The applicant stated that all hydrovac activities are conducted by the Water Department and GP&L and that nothing from the water treatment plant such as soils or materials would be brought on the proposed site as part of the usage. The applicant also added that the site was acquired by the City in 2024 with this specific use in mind.

Commissioner Jenkins asked the applicant if the proposed site was meant to be a supplement in terms of the use.

The applicant stated that the proposed site is meant to be a relocation of existing operations for GP&L as a result of the sale of the existing property where they are currently housed.

Commissioner Dalton asked the applicant to explain what hydrovac is for the audience that may not be familiar with the process.

The applicant explained that hydrovac is basically a water wand with a jet of water that is used to blast and loosen the soil. The soil and water that is blasted out is then collected with a hose unto a truck.

Chair Roberts asked the applicant if a front-end loader would be on site most of the day working with the gravel and stone.

The applicant stated that he did not suspect the front-end loaders would be working most of the day. He further added that sand would be stockpiled on site and will be used to backfill.

Chair Roberts asked Commissioner Dalton if he believes a front-end loader that far away from the street would be any noisier than traffic on Centerville Road.

Commissioner Dalton stated that he believed the front-end loader noise would be higher considering the 500-600 foot distance from the houses.

Chair Roberts asked the applicant regarding the lineman training, why the location was not moved slightly to the west in the clear space area.

The applicant stated the reason why that was not moved was due to a non-documented landfill as well as a 36-inch large water main with very little cover.

Chair Roberts asked the applicant if they would be opposed to the additional usages being removed from the PD.

The applicant stated that he could not speak on behalf of City Administration's plans.

Residents speaking in opposition of the request:

Helen Hutchinson, 709 Mill Branch, Garland, TX 75040
Johan Van Zyl, 902 Mill Spring Drive, Garland, TX 75040
Daphne Dean, 1957 Garrison Way, Garland, TX 75040
Laura Perkins Cox, 718 Bard Drive, Garland, TX 75040
Andrea McDaniel, 1013 Mill Spring Drive, Garland, TX 75040

Residents speaking in opposition of the request expressed concerns over mitigation efforts to contain any leftover soil, future rezoning efforts, noise pollution, removal of the existing vegetation and potential odors from the nearby wastewater treatment plant.

The applicant clarified to the Commission that what they are proposing at the moment is all they have and that if anything else was being proposed, they would have had to present another Concept Plan. The applicant also clarified that the proposed site is in no way associated with the wastewater treatment plant and therefore will not be accepting sludge or any of the other by-products of the treatment process. The hydro excavation area is simply for excavated water to be discharged to dry.

Chair Roberts asked the applicant if the roads at the site would be gravel.

The applicant stated that the City wants the roads to be concrete.

Commissioner Rose asked the applicant if there was another site that GP&L might be able to consider for this proposed development.

The applicant stated that they did consider other alternative sites but decided on this one due to it being geographically close to the existing facility as well as to the landfill. The applicant also pointed out the vast options of other uses allowed on this site and stated that what they are proposing in comparison to what could potentially be built will not be used as frequently. The proposed site would be used 1-2 days out of the month for actual training and for the storage would be during normal business hours.

Commissioner Duckworth asked the applicant if they had conducted any noise studies.

The applicant stated that no noise studies had been conducted. The applicant pointed out that the nearby freight and light rail produce a lot more noise than what they are proposing.

Commissioner Jenkins asked the applicant if measures would be put in place regarding the tracking of the sediment off-site.

The applicant explained that during construction, they would have a stabilized construction entrance. Afterwards, standard practice would consist of wheel cleaning before the vehicles got back on the road. The applicant further added that all of the activity would be on cement roads and not directly on the ground where mud could potentially be. The applicant also added that there was a requirement for some trees and dense screening materials along the fence facing the street.

Motion was made by Commissioner Jenkins to close the public hearing. Seconded by Commissioner Rose. **Motion carried: 8 Ayes, 0 Nays.**

Commissioner Dalton expressed his concerns over the noise levels coming from the front-loaders with diesel engines. He pointed out that the overall amount of noise in the area would increase due to the existing noise already happening as a result of the nearby trains. In spite of this, Commissioner Dalton does not believe that the proposed use would be that detrimental to the area and would hesitantly agree with the proposed request.

Commissioner Rose expressed his concerns that if this proposed use is allowed by the City Council, what future development might come next as a result of allowing this use.

Commissioner Abell pointed out that in May when the wind storm came through the City, there was a lineman truck 25 feet behind his house that he did not know was there until his power was restored. The lineman's truck lights were actually what alerted him to them being there and not the noise of the trucks. Considering what could potentially be developed on this site and what has been proposed in the past, he does not see a compelling case one way or the other but recognizes the need for the facility to the City but also questions if there is an alternate location for this use.

Commissioner Rose pointed out that the applicant did previously acknowledge that there are alternate sites for this proposed use but that they have decided on this one due to it being across the street from their existing facility.

Chair Roberts pointed out that the applicant stated there would be about 20 trucks a day over a nine-hour period that would equate to approximately 2 trucks per hour. If the trucks are being loaded with front-end loaders then that would mean the noise would be continuous all day long. Chair Roberts pointed out that the applicant may consider conducting a noise study with front-end loaders at the site as well as installing a sound wall. Chair Roberts expressed concerns over the overall noise and not having sufficient information to make an informed decision. Chair Roberts also asked if conditions could be incorporated into the PD to state that no materials stored on-site be from the wastewater treatment plant as well as not allowing any buildings and removing the additional existing uses listed in the PD. Chair Roberts would also like to recommend that Council look at cleaning up PD 86-05 and PD 86-54 which are the PD's between the existing site and the back of the houses.

Our Attorney stated that as the Plan Commission, they could recommend those conditions be added.

Commissioner Cornelius stated that not enough information was presented to convince her to vote in favor of this proposal.

Commissioner Duckworth noted that when considering proposals, one of the things they are looking for is the highest and best use, and considering the other allowed uses, they could be less amenable to the neighbors than this proposed use. Commissioner Duckworth recommended conducting a noise study as well as removing the other uses and clarifying the items that would be stored on-site.

Motion was made by Commissioner Rose to **deny** the application as presented. Seconded by Commissioner Jenkins. **Motion carried: 8 Ayes, 0 Nays.**

3. ADJOURN

There being no further business to come before the Plan Commission, the meeting adjourned at 7:59 p.m.

CITY OF GARLAND, TEXAS

/s/ Scott Roberts, Chairman

/s/ Elisa Morales, Secretary



GARLAND

Plan Commission

2. a.

Meeting Date: 08/12/2024

Item Title: Z 23-07 JQ Infrastructure (District 1)

Summary:

Consideration of the application of **JQ Infrastructure**, requesting approval of an amendment to Planned Development (PD) District 23-46 for Mixed Uses to 1) Amend Table 5-1 (Schedule of Uses) to add the Ground Water Storage Tank Use to the Employment Mixed Use (EMU) Character Zone and 2) a Detail Plan for a Ground Water Storage Tank Use. This property is located at 2301 Lookout Drive. (District 1) (File Z 23-07)

Attachments

Z 23-07 JQ Infrastructure Report & Attachments

Z 23-07 JQ Infrastructure Responses

Planning Report

File No: Z 23-07/District 1

Agenda Item:

Meeting: Plan Commission

Date: August 12, 2024



GARLAND

TEXAS MADE HERE

REQUEST

Approval of an amendment to Planned Development (PD) District 23-46 for Mixed Uses to 1) Amend Table 5-1 (Schedule of Uses) to add the Ground Water Storage Tank Use to the Employment Mixed Use (EMU) Character Zone; and 2) a Detail Plan for a Ground Water Storage Tank Use.

LOCATION

2301 Lookout Drive

APPLICANT

JQ Infrastructure

OWNER

North Texas Municipal Water District (NTMWD)

BACKGROUND

Planned Development (PD) District 15-20 was approved by City Council in June 2015. The Change in Zoning effort brought together multiple owners to unify a vision and implementation plan through PD 15-20 for approximately 300 acres and 10 landowners. The resulting approved PD 15-20 consists of a conceptual development plan for a mixture of compatible uses that support an employment-generating center along with residential uses.

Within the 300-acre area, PD 15-20 established unique zoning districts specific to the Planned Development. These zoning districts (which are called "zones" in the PD documents) included: Employment Mixed Use, Retail Mixed Use, Mixed Use/Mixed Residential; Transition; and Mixed Residential. At the time of the PD 15-20 approval these unique zoning districts were geographically assigned to properties shown on a Zoning Framework Plan (a map within PD 15-20).

After three additional zoning amendments, the site was rezoned Planned Development (PD) District 23-46. The site is currently in the Employment Mixed Use (EMU) Character zone and requires ground floor commercial.

The North Texas Municipal Water District (NTMWD) owns the land and wishes to use it as part of their system that provides drinking water to the City of Garland and several surrounding cities. Currently, a brand-new pump station was constructed on an adjacent site to the North within the city limits of Richardson, Texas. The applicant wishes to construct one 10-million-gallon ground storage water tank, an overflow storage pond, access roads within the site, inflow and outflow tank piping, and a small electrical building.

SITE DATA

The subject property contains approximately 16.335 acres and has approximately 957 linear feet of frontage along Lookout Drive, 660 linear feet of frontage along North President George Bush Turnpike, and 646 linear feet of frontage along Telecom Parkway. The site can be accessed externally from Telecom Parkway only. The site can also be internally accessed from the pump station to the North, which is located within the City of Richardson, Texas.

USE OF PROPERTY UNDER CURRENT ZONING

The site is currently vacant with a fair amount of tree cover.

The subject property is zoned Planned Development (PD) District 23-46 for Mixed Uses. The Planned Development (PD) 23-46 includes its own controlling uses and development standards as well as a Zoning Framework Plan. This site falls within the Employment Mixed Use (EMU) Character Zone.

The Employment Mixed Use Zone (EMU) is the Character Zone for the area adjacent to the SH 190 frontage and along Lookout Drive. This zone is appropriate for the long-term development of large-scale regional employment and office uses due to its proximity to the Telecom Corridor®. The direct access to regional roadways including SH 190 offers adequate capacity for such an employment hub. The major roadway frontages along SH 190, Lookout Drive, and Telecom Parkway are not appropriate for ground floor residential uses. The vision for this zone is mid-to high-rise office buildings with structured parking.

CONSIDERATIONS

1. The applicant proposes to construct a 150-foot diameter, 10-million-gallon, 96-foot-tall cylindrical ground storage water tank, a 37,970 square foot overflow storage basin, and a 500 square foot electrical control building.
2. The Ground Water Storage Tank Use will be added to Table 5-1 per the Planned Development (PD) 23-46 and allowed only within the Employment Mixed Use (EMU) Character Zone.
3. No parking shall be required for this use.
4. The applicant will be meeting streetscape standards per Table 6-3 per the Planned Development (PD) 23-46.
5. The site plan (Exhibit D) complies with the GDC.
6. The landscape layout (Exhibit E) complies with the screening and landscaping standards per the GDC.
7. The building elevations (Exhibit F) comply with the GDC.
8. All proposed signage will comply with the GDC.

COMPREHENSIVE PLAN

Business centers provide a cluster of business offices and/or low impact industry, including campus-type development, that cumulatively employ large numbers of people. Operations within this development type occur internal to buildings resulting in minimal negative impacts (sound, air, traffic, outdoor lighting, storage, etc.) and are compatible with adjacent development types in architecture, character, scale, and intensity. Business centers are generally located at intersections of major and/or secondary arterial streets or significant transit areas (bus/rail). Proximity and access to residential areas are encouraged to reduce travel times to employment. Site design addresses function and visual aesthetics providing appropriate buffering at gateway corridors, between adjacent developments, and for residential neighborhoods.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The property to the East across Telecom Parkway contains a substation and falls within the Employment Mixed Use (EMU) Character Zone of Planned Development (PD) District 23-46. The property to the South contains a Medical Office/Clinic and falls within the Employment Mixed Use (EMU) Character Zone of Planned Development (PD) District 23-46. To the West of the site lies the President George Bush Turnpike. Finally, the property to the North falls within the City of Richardson, Texas and contains a pumping station which will connect internally to the proposed water tank.

STAFF RECOMMENDATION

Approval of an amendment to Planned Development (PD) District 23-46 for Mixed Uses to 1) Amend Table 5-1 (Schedule of Uses) to add the Ground Water Storage Tank Use to the Employment Mixed Use (EMU) Character Zone; and 2) a Detail Plan for a Ground Water Storage Tank Use.

ADDITIONAL INFORMATION

- i. Location Map
- ii. PD & Conditions
- iii. Exhibits
- iv. Photos

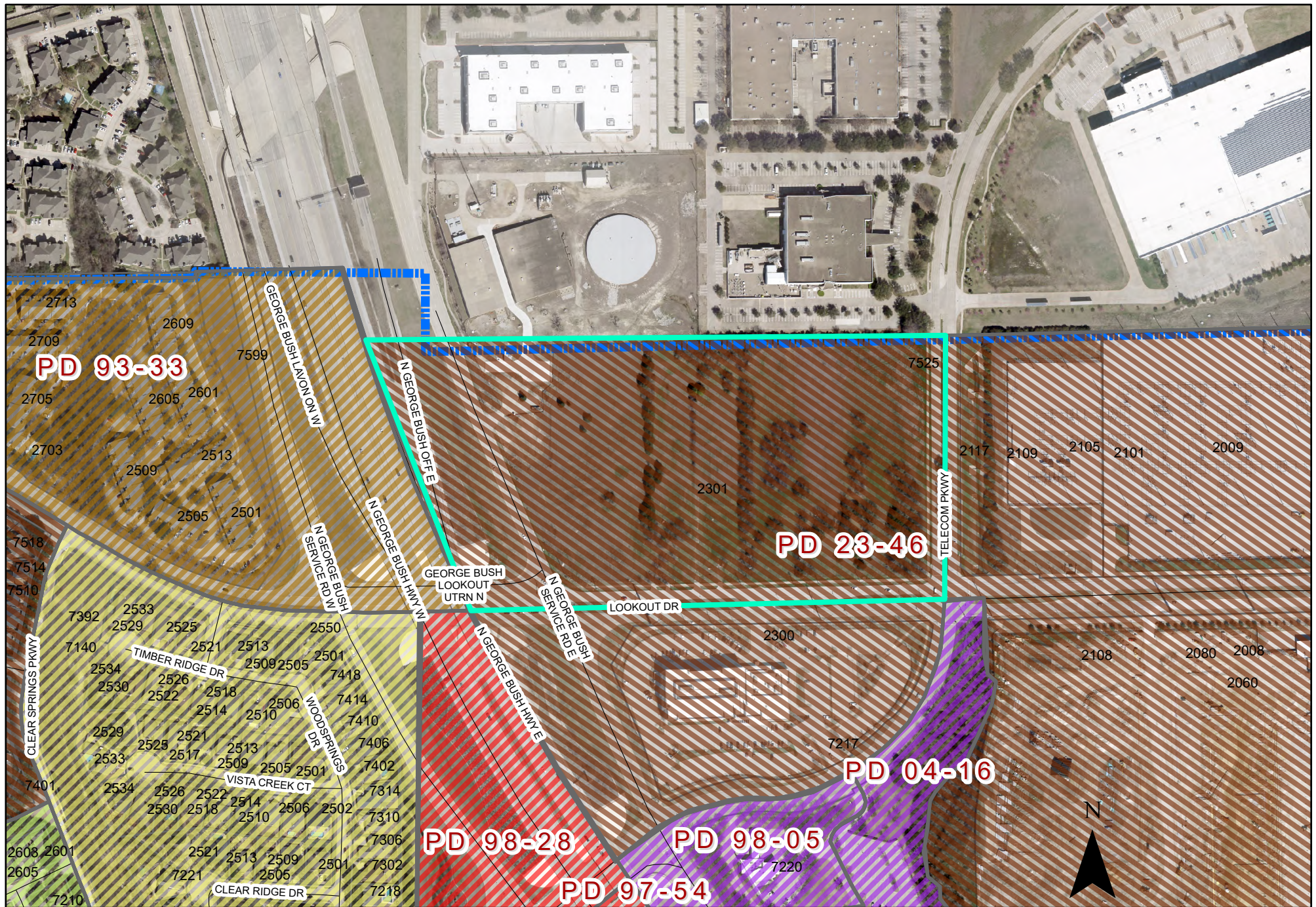
CITY COUNCIL DATE: September 03, 2024

PREPARED BY:

Matthew Wolverton
Planner II
Planning & Development
972-205-2454
mwolverton@garlandtx.gov

REVIEWED BY:

Angela Self, FAICP
Interim Director of Planning



0 175 350 Feet

ZONING MAP Z 23-07

 INDICATES AREA OF REQUEST

2301 Lookout Drive

PLANNED DEVELOPMENT CONDITIONS

ZONING FILE Z 23-07

**Northeast of PGBT/SH 190, west of Holford Road, and south
of the City Limits line**

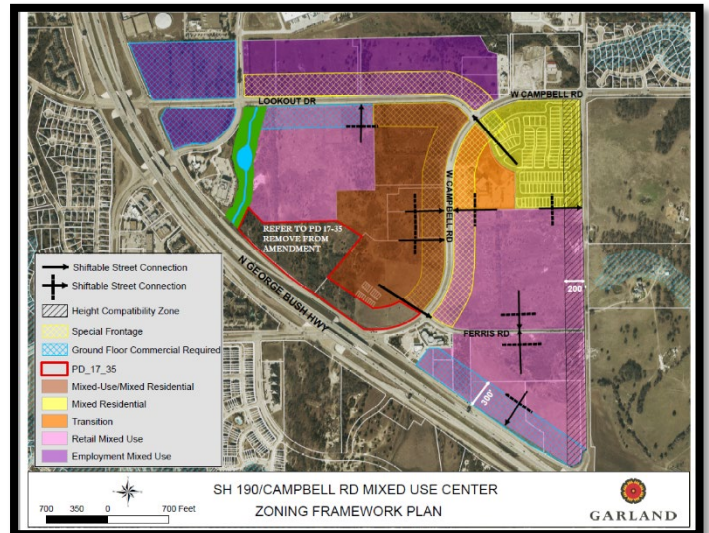
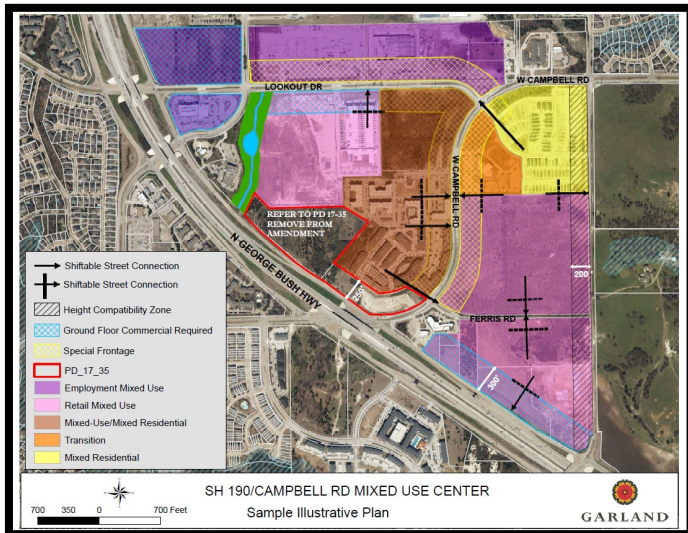
- I. Statement of Purpose:** The purpose of this Planned Development District amendment is to allow a Ground Storage Water Tank Use, provided the use is permitted by right and all other applicable requirements are met.
- II. Statement of Effect:** This Planned Development District shall not affect any regulation found in the Garland Development Code (GDC), Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. General Regulations:** All regulations in Ordinance 6773 Garland Development Code (GDC), are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. Development Plans:**
- Detail Plan: Development is to be in conformance with the approved Detail Plan labeled Exhibit C. In the event of conflict between the conditions and Detail Plan, the conditions listed below are to apply.
- V. Detail Plan:**
- A. Site Layout: The site shall be in conformance to the site layout reflected on Exhibit D.
- B. Screening and Landscaping: Screening and landscaping shall be in conformance to the layout reflected on Exhibit E.
- C. Elevations: The elevations shall be in general conformance to the elevations reflected on Exhibit F.
- VI. Specific Regulations:**
- A. Regulating Plan: All uses, conditions, processes and standards shall be as provided within Exhibit C.

City of Garland

SH 190/Campbell Mixed Use Center

Planned Development District

June 8, 2015 -- Z 15-20
AMENDED September 19, 2017 -- Z 17-35
AMENDED August 18, 2020 -- Z 20-17
AMENDED January 9, 2024 -- Z 23-46



Created for



GARLAND

TEXAS MADE HERE

By:

GATEWAYPLANNING
A VIALTA GROUP PARTNER

UPDATES BY CITY OF GARLAND, AS INDICATED ABOVE

EXHIBIT C

City of Garland SH 190/Campbell Mixed Use Center Planned Development District

Table of Contents

- I. Purpose and Intent
- II. Applicability
- III. SH 190/Campbell MUC-PD District Structure
- IV. Administration
- V. Schedule of Uses
- VI. Development Standards
 - A. General to all sites
 - B. Performance and Design Standards
 - C. Site Development Standards
- VII. Definitions

Appendices:

- A. Zoning Framework Plan
- B. Sample Illustrative Plans
- C. SH 190/Campbell MUC-PD District Structure and Review Process Flow Chart
- D. Street Design Standards and Typical Cross Sections

SH 190/Campbell Mixed Use Center Planned Development District

I. Purpose and Intent

The purpose and intent of the SH 190/Campbell Mixed Use Center Planned Development District (here after known as “MUC-PD”) is to implement the City’s vision for a vibrant and sustainable approach to the development of SH 190 Corridor and to encourage the continuation of the Telecom Corridor® through Garland by becoming a center for major employment office, technology, healthcare and support services, while encouraging, where feasible, a mix of complementary uses including housing, retail, offices, commercial services, and civic uses, supporting long term attractiveness for both employment uses and neighborhood uses. Specifically, the MUC-PD is intended to:

- A. Create short-term development momentum while allowing for long-term market opportunities for larger-scale employment uses;
- B. Establish a high level of development standards to create development of exemplary and enduring quality that fits into the City’s vision including Envision Garland 2030 as amended;
- C. Encourage the development of vertical and horizontal mixed-use areas that are safe, comfortable and attractive to pedestrians while protecting significant environmentally sensitive areas;
- D. Provide flexibility on the site and with design of new development to anticipate changes in the marketplace while establishing human-scaled buildings;
- E. Leverage the frontage and access to SH 190 and other regional corridors while preserving environmentally significant areas as “features” and not constraints, encouraging destination retail and other uses along the SH 190 Corridor with adjacent transitions to sustainable mixed use development patterns so that destination uses directly along the corridor are accessible internally by walking, cycling and driving;
- F. Create a variety of connected community gathering places and passive open spaces with trails to make walking and biking easy from one place to another and connect to off-site trails;
- G. Include a range of residential options that reflect changing lifestyles considering both market demand and City preferences;
- H. Provide appropriate transitions to protect adjacent neighborhoods and to promote sustained value;
- I. Encourage efficient uses of land; and
- J. Utilize existing and future transportation and parking assets efficiently in order to optimize both auto traffic on surrounding streets and on-site parking demand through design strategies and policy incentives that support use of multiple modes of transportation.

II. Applicability

- A. The MUC-PD District (this Code) applies to the property shown as the PD 15-20 on the Zoning Map and the boundaries are as established in the Zoning Framework Plan in Appendix A.
- B. The provisions of the MUC-PD District (this Code), when in conflict, shall take precedence over those in the Garland Development Code (GDC) as amended except as noted herein. Development standards not addressed in this Code shall be governed by the GDC to the extent they are not in conflict with the intent of the MUC-PD District standards.

III. SH 190/Campbell MUC-PD District Structure

- A. MUC-PD District Structure: The following plans establish the structure within which the details of the PD District are calibrated to a specific Detail Plan (DP) at the time of development. The Sample Illustrative Plans (Appendix B) are included to provide an overall guidance on the desired pattern and character of development envisioned under this code while the Zoning Framework Plan (Appendix A) establishes the major street network and character zone allocations within the PD District.

1. Sample Illustrative Plans – are plans generated for different areas of the MUC-PD District that provide guidance on the intended character and layout of development based on the context and vision for the different character zones. These are to be used as prototypical development scenarios that would form the ultimate Detail Plan by the individual developers/property owners. The Sample Illustrative Plans illustrate important principles of planning a mixed use, walkable neighborhood.
2. Zoning Framework Plan – is the plan that is adopted at the time of creation of this PD and associated rezoning and establishes the different Character Zones and the major street network envisioned for MUC-PD District. Using the Zoning Framework Plan (ZFP) (Appendix A) and this Code, an applicant shall specify certain details of the development and may refine ZFP elements at the time of DP per the criteria established in this Code.

Five (5) Character Zones are established within the MUC-PD, each of which implements specific aspects of the vision for a regional mixed use destination with significant employment and residential uses. Prior to any new development within these areas, a Detail Plan (DP) consistent with the adopted ZFP (Appendix A) and this PD shall be developed by the applicant/property owner or developer. However, Data Centers, where permitted by right, are not required to submit a Detail Plan and may proceed to Site Permit and Building Permit review, provided all applicable zoning and technical requirements are met.

- i. Employment Mixed Use Zone (EMU): This is the Character Zone the area adjacent to the SH 190 frontage and along Lookout Drive. This zone is appropriate for the long-term development of large-scale regional employment and office uses due to its proximity to the Telecom Corridor®. The direct access to regional roadways including SH 190 offers adequate capacity for such an employment hub. The major roadway frontages along SH 190, Lookout Drive, and Telecom Parkway are not appropriate for ground floor residential uses. The vision for this zone is mid-to high-rise office buildings with structured parking.
- ii. Retail Mixed Use Zone (RMU): This is the area adjacent to SH 190 with access conducive to destination and regional retail uses. This area shall contain design and development standards that allow for retail and office uses; but that also encourage connections and transitional uses with the adjacent development.
- iii. Mixed Use-Mixed Residential Zone (MU-MR): This area is the core mixed use development opportunity for the area, linking the other areas together and encouraging development standards and uses that create a variety of higher density residential types as well as office and retail uses that do not require visibility

from SH 190, but in a walkable development context.

- iv. Transition Zone (T): This area is located to provide opportunities for residential and neighborhood serving smaller scale professional office and retail within a design context that respects the scale of the adjacent Mixed Residential Zone (MR).
 - v. Mixed Residential Zone (MR): This area is primarily residential in character and intended to provide a transition to the single family neighborhoods to the northeast. This area shall provide a variety of lower density attached and detached housing types within a walkable context including integrated small open spaces.
3. Detail Plan – A Detail Plan shall establish the exact location of Character Zones, land uses and open spaces, blocks, lots, building and street layout, treatment of transition areas to adjacent uses and any other appropriate information required by this PD. The Detail Plan shall illustrate the design direction of the site with dimensional standards that provide substantial certainty about the development outcomes, intensity, and phasing of the proposed development. It shall be created and submitted by the applicant/developer prior to any new development within the MUC- PD in conformance with DP applications as established in Section IV.B.2. of this Code. A Detail Plan shall meet the standards established in the Zoning Framework Plan and this PD and shall be developed for a minimum acreage even if the actual development is phased.
- i. Minimum Acreage Required: The minimum acreage required for any initial Detail Plan shall be no smaller than any one of the following: (1) all the contiguous property under one single ownership; or (2) all property under one Character Zone as established in the adopted Zoning Framework Plan; or (3) all property circumscribed by any proposed new or existing streets per the Zoning Framework Plan.
 - ii. Amendments to Approved Detail Plans: After the initial Master Detail Plan approval, subsequent amendments to approved DPs shall include the entire area of the initial Detail Plan approval regardless of the standards in III.A.3.i. above.

Detail Plans also include the lot and building(s) level plans and shall be required for individual lots and/or buildings subject to Public Hearing by Planning Commission and City Council approval for all development, with the exception of Data Centers in accordance with Section III (2), prior to Site Permit and Building Permit review. The approval process for DPs shall be based on the process established for DP applications in Section IV.B.3 of this PD and as outlined within Section 2.12 of the GDC.

IV. Administration

- A. General: No building or structure may be erected or moved unless in conformity with this MUC-PD.
- B. Authority for Approval (See Appendix C for a flow chart illustrating the Application Process):
 - 1. Zoning Framework Plans [a Zone Change to this PD's established Character Area zoning districts (a Zone Change may include a Detail Plan in conjunction with the Zoning Framework Plan)]: may only be approved by City Council after recommendation by the Plan Commission. The process for Zoning Change applications in Chapter 2, Article 2, Division 1 of the GDC shall be followed. Modifications to adopted ZFPs may also be processed in conjunction with DP applications per IV.B.2 below.
 - 2. Detail Plan Applications.

- i. May only be approved by City Council after recommendation by the Plan Commission.
 - a. The process shall follow the process Section 2.12 of the GDC. In considering Detail Plan Applications, the Plan Commission and the City Council may use any of the following criteria:
 - 1) The extent to which the proposed modifications to street layout and/or character zones impact adjoining properties with respect to continuity and adjacency predictability;
 - 2) The overall purpose and intent of the regional Mixed Use Center;
 - 3) The extent to which the proposal fits the adjoining design context by providing appropriate building scale and use transitions;
 - 4) The extent to which the proposal provides public benefits such as usable civic and open spaces, livable streets, affordable housing, structured and/or shared parking, and linkages to transit; and
 - 5) The extent to which the proposal does not hinder future opportunities for higher intensity development.
 - 6) The extent to which the proposed application impacts adjoining properties with respect to continuity and adjacency predictability;
 - 7) The extent to which the application meets the overall purpose and intent of the regional Mixed Use Center;
 - 8) The extent to which the proposal fits the adjoining design context by providing appropriate building scale and use transitions;
 - 9) The extent to which the application provides public benefits such as usable civic and open spaces, livable streets, affordable housing, structured and/or shared parking, and linkages to transit; and
 - 10) The extent to which the application does not hinder future opportunities for higher intensity development.

C. Detail Plan Requirements:

- 1. The Detail Plan is intended to illustrate the building and block level development pattern of the MUC-PD District consistent with the purpose and intent of the Section and establish the detailed standards and rules for any new development within the MUC-PD District and the corresponding Character Zones.
- 2. The applicant shall submit a Detail Plan for the minimum acreage as established in Section III.A.3.i.
 - i. Each Detail Plan application shall:
 - a. demonstrate compliance with this PD's purpose, intent, and development standards;
 - b. include exhibits meeting all the informational requirements for under Section 2.11 of the GDC, and meeting the standards of this PD and adopted ZFP including:
 - 1) Delineation of the Character Zones per the adopted ZFP (including any modifications to adopted ZFP elements);
 - 2) The layout of proposed blocks, major and minor streets, bikeways, sidewalks, and trails;
 - 3) the location and acreage of open space areas and whether each will be

privately owned, a common area for residents only or dedicated to public use;

- 4) Type “A” and “B” Development Frontage designations based on the standards in this PD.
- 5) A conceptual level plan for the accommodation of stormwater drainage and detention and other major water and sewer infrastructure elements for the overall area included in the Detail Plan;
- 6) The location and area of retail, office, industrial, residential, civic, and open space uses;
- 7) The approximate shape, size, and placement of buildings;
- 8) The general parking location relative to streets and buildings and approximate parking count, with indication of parking lot landscape areas; and
- 9) Any minor modifications to adopted ZFP elements per Table 4-1 below.

Table 4-1: Minor Modifications Table		
Framework Plan Element	Extent of Minor Modification Permitted	Criteria
a. Area/boundary of a Character Zone	Area/boundary of a specific Character Zone may be adjusted no more or less than 30%.	i. Shall not eliminate any character zone ii. Modified area shall be contiguous with the corresponding character zone that is changed iii. Boundary modifications may be due to physical constraints on the property, or shifting of internal roadways or to better align with ownership boundaries.
b. Location of any Required Street	Location may be shifted no more than 150' in any direction	i. Shall maintain the connectivity intended by the Framework Plan ii. Shall maintain the continuation and/or connectivity with any existing streets or driveways where possible
c. Area of any Required Civic/Open Space	May be reduced by no more than 25%	i. Shall maintain the frontages required by the Framework Plan ii. Area may be adjusted to accommodate shifting of any new Required Streets or any required easements only

- c. Include a Street Classification Master Plan with associated with cross-sections and street classifications for the proposed Detail Plan area (or for each phase, if it is to be developed in phases) specifying right-of-way width, minimum pavement width, on-street parking, approximate location of street trees, bikeways and sidewalks (Appendix D, Institute of Transportation Engineers' Designing Walkable Urban Thoroughfares manual or NACTO's Urban Street Design Guide shall be used to guide the development of the proposed cross sections in lieu of the street standards in the GDC. See Definitions for complete citation).
- d. Include a report in the form of text, statistical information, tables, guidelines, and graphics that includes:
 - 1) a statement of the purpose and intent of the proposed development consistent with the vision and ZFP for the MUC-PD District and its Character

Zones;

- 2) a description of the mix of land uses and the factors which ensure compatibility both within the development site, with adjacent land uses, and compliance with the recommendations of all the adopted elements of the Comprehensive Plan;
- 3) any special standards for signage in the form of a Master Sign Plan application that provides a design palette addressing the location, size, type, lighting, colors, and materials for all signage in the proposed development unless meeting the Sign Regulations in Chapter 4, Article 5 of the GDC;
- 4) statistical information including:
 - a) gross acreage of the site, and net acreage of the site excluding jurisdictional wetlands, regulatory floodplains, and slopes over 20%;
 - b) the amount of land devoted to open space, both in acres and as a percentage of the gross acreage of the site;
 - c) the amount of land devoted to retail, office, industrial, residential, and civic uses;
 - d) a plan for pedestrian, bicycle, and vehicular circulation describing the general design capacity of the system as well as access points to any regional trail system;
 - e) a daily and peak hour trip generation and directional distribution report by use unless the Director of Transportation finds that the traffic to be generated by the proposed development does not warrant the preparation and submission of a study;
 - f) the maximum allowable building coverage and height; and
 - g) the minimum and maximum building setbacks.
- e. Development standards for the proposed development that meet Section VI.B of this PD and specifying standards for all the “flexible” elements by each Character Zone within the specific Detail Plan area in the form of a table (see Table 6-3 in Section VI for criteria and format);
- f. Compliance with frontage and housing mix and type standards in Section VI.A.4 for the specific Character Zones and locations to be included with the DP;
- g. Building design and general architectural design standards that meet Sections VI.A.8 and VI.A.9 of this PD for the proposed development specifying general materials and configurations permitted for facades, roofs, and openings;
- h. A landscape plan that includes the design direction and general for streetscapes and public/open spaces types; and
- i. A non-binding schedule for the entire development (or for each phase, if it is to be developed by phases), which shall show generally how the applicant will complete the project containing the following information:
 - 1) The proposed order of construction by section delineated on the Detail Plan;
 - 2) The proposed schedule for construction of improvements to open space areas; and
 - 3) The proposed schedule for the installation of required public streets, utilities

improvements and the dedication of public rights-of-way and/or easements.

D. Additional Requirements for Detail Plans and Minor Amendments to Approved Detail Plans:

1. **Detail Plan Requirements:** A Detail Plan shall be required for all development. Detail Plans within the MUC-PD District shall meet the submittal requirements for Detail Plans established under the Section 2.12 of the GDC. Additional information that adequately illustrates the detail plan's compliance with this PD and the applicable Detail Plan shall also be required. The process for approval of Detail Plans is established in Section IV.B.3 of this PD and within Chapter 2, Article 2, Division 2 of the GDC.
2. The Director of Planning may approve minor changes to a previously approved Detail Plans with the applicant's written justification for such changes. Any significant changes to and deviations from approved Detail Plans shall be regarded as an amendment to that particular plan and may be reviewed by the Director of Planning and processed per the standards established in this PD. The Director of Planning shall make the determination as to whether a proposed change is minor or significant, based upon consideration of the following facts:
 - i. whether the proposed change substantially alters the arrangement of component zones, buildings or changes the use of building space designated on the original plan;
 - ii. whether there is an increase of greater than 10% in the number of residential dwelling units beyond the threshold established in the approved DP;
 - iii. whether the proposed change substantially alters vehicular circulation or the placement/ arrangement of parking areas; or
 - iv. whether the proposed change will reduce or lessen the effectiveness of open space, landscape buffers, and edges.

V. Schedule of Uses

- A. No permit may be issued for a use that is not allowed by this MUC-PD.
- B. **Use Categories:** In order to regulate use, categories of uses have been established. Use categories provide a systematic basis for assigning land uses to appropriate categories with other, similar uses. Use categories classify land uses and activities based on common functional, product, or physical characteristics. Characteristics include the type and amount of activity, the hours of operation, the type of customers or residents, how goods or services are sold or delivered, likely impact on surrounding properties, and site conditions.
- C. **Principal Uses:** Allowed principal uses by MUC-PD District and Character Zones are listed in Table 5.1 Permitted Use Table. Principal uses are grouped into categories of uses (see Definitions for description of land use categories). The example uses listed are not an exhaustive list. The Director of Planning has the responsibility for categorizing all uses.
- D. **Accessory Uses:** The following standards shall apply to Accessory Uses:
 1. Unless otherwise expressly stated, accessory uses are permitted in conjunction with allowed principal uses. Accessory uses shall be accessory and customarily incidental and subordinate to a permitted principal use.
 2. No accessory use may be established on a site prior to the establishment of a permitted principal use.

3. The Director of Planning is authorized to determine when a structure or use meets the definition of an accessory use. In order to classify a structure or use as accessory, the Director of Planning must determine that the use:
 - i. Is subordinate to the principal use in terms of area, extent and purpose;
 - ii. Contributes to the comfort, convenience or necessity of occupants of the principal use served;
 - iii. Is located on the same lot as the principal structure or use, or on a contiguous lot in the same ownership;
 - iv. Does not involve operations not in keeping with the character of the principal use served; and
 - v. Is not of a nature likely to attract visitors in larger numbers than would normally be expected for the principal structure or use.
 4. Home Occupations: Standards in Section 2.61 of the GDC shall apply.
 5. Live-Work Uses and Structures: Live-Work uses and structures are permitted per Section V of this PD. A live-work structure is a mixed use building type with a dwelling unit that is also used for work purposes, provided that the 'work' component is (1) restricted to the uses of professional office, personal service, cottage industrial, artist's workshop, studio, or other similar uses, (2) is located on the street level and ground floors constructed to Commercial Ready standards, and (3) is constructed as separate units under a condominium regime or as a single unit. The 'live' component may be located on the street level (adjacent to the work component) or any other level of the building. Live-work dwelling is distinguished from a home occupation otherwise defined by this Section in that the "work" component is not required to be incidental and secondary to the "live" component. The business owner or a full-time employee may reside in the residential unit associated with the commercial use.
- E. Accessory Structures: All accessory structures shall be clearly subordinate to the principal structure on the lot. All accessory structures shall meet the applicable principal structure standards per the Character Zone unless alternative standards are proposed by the applicant and adopted as part of the DP approval.



The land use is allowed by right in the zoning district indicated.



The land use is prohibited in the zoning district indicated.



The land use is allowed only upon approval of a Specific Use Provision (SUP) in the zoning district indicated.

Table 5-1 Schedule of Uses

	EMU – Employment Mixed Use	RMU – Retail Mixed Use	MU-MR – Mixed Use – Mixed Residential	T – Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
AGRICULTURE USES						
Farm, Ranch, Orchard						-
Feed Store						-
Stable, Commercial						-
Stable, Private						-
Stockyards, Livestock Auction, Livestock Hauling						-
RESIDENTIAL USES						
Accessory Dwellings:	-	-	-	-	-	-
Dwelling, Accessory – Guard/Manager/Caretaker					P	Sec. 2.58
Dwelling, Accessory – Guest House					P	Sec. 2.58
Dwelling, Accessory – Rental Unit					P	Sec. 2.58
Congregate Adult Living Facilities:	-	-	-	-	-	-
Rehabilitation Facility, In Home/Residential		S	S	S	S	-
Rehabilitation Facility, Institutionalized						-
Elder Care Facilities:	-	-	-	-	-	-
Elder Care – Assisted Living	S	S	S	S		Sec. 2.52(A)12
Elder Care – Continuing Care (combination)	S	S	S	S		Sec. 2.52(A)12

P

The land use is allowed by right in the zoning district indicated.

The land use is prohibited in the zoning district indicated.

S

The land use is allowed only upon approval of a Specific Use Provision (SUP) in the zoning district indicated.

	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR - Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Elder Care – Independent Living			P		p*	Sec. 2.52(A)12 p* = Permitted in duplex, triplex, quadplex, and single-family (attached and detached) building types only
Elder Care – Nursing/Convalescent Care	S	S	S	S		Sec. 2.52(A)12
Household Living Units:	-	-	-	-	-	-
Dwelling, Two-Family (duplex)			P	P	P	Sec. 2.38
Dwelling, Industrialized Housing Unit						Sec. 2.36
Dwelling, Manufactured/HUD-Code Home						-
Dwelling, Mobile Home						-
Dwelling, Multi-Family			P			Sec. 2.39 (see exception below) The GDC requirement for 2 swimming pools for MF Developments over 250 units may be reduced to 1 swimming pool in addition to any reduction of required Clubhouse area with the Planning Director's approval through the Detail Plan process.
Dwelling, Live/Work	P	P	P	P		-
Dwelling, Single-Family Detached			p*		p*	Sec. 2.36 P* implies Section VI.A.4.i and Section VI.A.4.ii applies P implies only Section VI.A.4.i applies

P

The land use is allowed by right in the zoning district indicated.

The land use is prohibited in the zoning district indicated.

S

The land use is allowed only upon approval of a Specific Use Provision (SUP) in the zoning district indicated.

	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR - Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Dwelling, Single-Family Attached (Townhouse)		P	P	P	P	Sec. 2.37
Manufactured/Mobile Home Park or Subdivision						-
ACCESSORY & TEMPORARY USES						
Accessory Structure			P	P	P	Sec. 2.58
Convenience Facilities:	-	-	-	-	-	-
Drive-Through Service		S				Sec. 4.20 Standards in Section 7 of this PD also apply
Walk-Up Service	P	P	P	P		-
Fuel Pumps, Retail		S				Sec. 2.52(A)3 Standards in Section 7 of this PD also apply
Kiosks, Self-Service:	-	-	-	-	-	-
Automated Teller Machine (ATM) – Drive-Up	P	P	S	S		Sec. 2.52(A)7, Sec. 4.20
Automated Teller Machine (ATM) – Walk-Up	P	P	P	P		Sec. 2.52(A)7
Retail (ice, water, etc.)		S				Sec. 2.52(A)7, Sec. 4.20
Recycled Materials Collection						
Outside Display, New Materials		S				Sec. 2.52(A)14
Outside Display, Used Materials						
Outside Storage, New Materials		S				Sec. 2.52(A)14
Outside Storage, Used Materials						
Outside Storage Unit, Portable (POD)						
Seasonal Sales	*	*	*	*		Art. VIII, Ch. 30, City Code



The land use is allowed by right in the zoning district indicated.



The land use is prohibited in the zoning district indicated.



The land use is allowed only upon approval of a Specific Use Provision (SUP) in the zoning district indicated.

	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR - Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Shelter Tent						-
Shipping Container						Sec. 2.52(A)15, Art. XII, Ch. 30, City Code
Temporary Building/Office (field office, construction office, subdivision sales office, etc.)	*	*	*	*	*	Sec. 2.52(A)19
INSTITUTIONAL AND EDUCATIONAL						
College or University	P	P				-
Convention Facility	P	S	S			-
Day Care Facilities:	-	-	-	-	-	-
Day Care Center, Adult	S	P	S	S	S	Sec. 2.52(A)13
Day Care, Youth – Licensed Child-Care Center	P	P	S	S	S	Sec. 2.52(A)2
Day Care, Youth – Registered Child-Care Home			S	S	S	Sec. 2.61
Church or Place of Worship	P	P	P	P	P	-
Learning Center, Specialized	P	P	S	S		-
School, Business	P	P	P			-
School, Retail/Personal Services Training	P	P	P			-
School, Trade						-
School, Private, Religious or Charter			S	S	S	-
School, Public			P	P	P	-
Charitable Boarding						-
Garden, Charitable						-
Garden, Civic			P	P	P	-



The land use is allowed by right in the zoning district indicated.



The land use is prohibited in the zoning district indicated.



The land use is allowed only upon approval of a Specific Use Provision (SUP) in the zoning district indicated.

	EMU – Employment Mixed Use	RMU – Retail Mixed Use	MU-MR – Mixed Use – Mixed Residential	T – Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
GOVERNMENT & HUMAN SERVICES USES						
Post Office	P	P	P	P		-
Social Service Facility/Agency		P	P	P		-
MEDICAL & HEALTH SERVICES USES						
Cemetery						
Hospital	S	S			-	
Medical and Dental Office/Clinic	P	P	P	P	-	-
Mortuary/Funeral Home						
RECREATIONAL, SOCIAL AND ENTERTAINMENT USES						
Athletic Events Facility, Indoor		P	P		- -	-
Athletic Events Facility, Outdoor						
Athletic Field, Stadium, Arena	S	S				
Civic Club/Fraternal Lodge		P	P	S		
Commercial Amusement, Indoor		P	S			
Commercial Amusement, Outdoor						
Commercial Amusement, Indoor		P	S		-	-
Commercial Amusement, Outdoor						-
Cultural Facility	P	P	P	P		-

P

The land use is allowed by right in the zoning district indicated.

The land use is prohibited in the zoning district indicated.

S

The land use is allowed only upon approval of a Specific Use Provision (SUP) in the zoning district indicated.

	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR - Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Day Camp, Private						-
Dry Boat Storage						-
Equestrian Camp, Private						-
Golf Course/Country Club						-
Health & Fitness Gym (indoor)	P	P	P	P		-
Marina						-
Public Amusement, Temporary	*	*	*	*		Art. VIII, Ch. 30, City Code.
Racing Track						-
Reception Facility		S				Sec. 2.52(A)20
Recreational Vehicle Park (short-term stays only)						-
Shooting Range, Indoor						-
Shooting Range, Outdoor						-
Theater, Large Scale		P				-
Theater, Small Scale	S	P	P			-
Zoo						-
OFFICE, RETAIL & SERVICE USES						
Alternative Financial Establishment						-
Antique Shop (indoors only)		P	P	P		-
Bait Sales, Live						-
Bakery, Retail	P	P	P	P		-



The land use is allowed by right in the zoning district indicated.



The land use is prohibited in the zoning district indicated.



The land use is allowed only upon approval of a Specific Use Provision (SUP) in the zoning district indicated.

	EMU – Employment Mixed Use	RMU – Retail Mixed Use	MU-MR – Mixed Use – Mixed Residential	T – Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Bed and Breakfast						Sec. 2.52(A)11
Business & Media Service	P	P	P	P		-
Call Center	P	P	P			-
Commercial Blood, Plasma, Tissue and Cell Collection Center						Sec. 2.52(A)26
Convenience Store (1,000-5,000sf)	P	P	P	S		Sec. 2.52(A)1
Financial Institution	P	P	P	P		Sec. 4.20
Flea Market, Indoor						-
Flea Market, Outdoor						-
Furniture, Household Furnishings and Appliance Sales/Rental		P	P			-
Grocery/Supermarket (>5,000sf)	S	P	P			-
Home Improvement Center (>50,000sf)		S				-
Hotel/Motel, Extended Stay	S	S	S			Sec. 2.52(A)11
Hotel/Motel, Full Service	P	P	P			Sec. 2.52(A)11
Hotel/Motel, Limited Service	S	S	S			Sec. 2.52(A)11
Indoor Shopping Mall						-
Kiosk, Trailer or Mini-Structure (attended):	-	-	-	-	-	-
Retail/Service	S	P	P			Sec. 2.52(A)7, Sec. 4.20
Recycled Materials Collection						

P

The land use is allowed by right in the zoning district indicated.

The land use is prohibited in the zoning district indicated.

S

The land use is allowed only upon approval of a Specific Use Provision (SUP) in the zoning district indicated.

	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR - Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Landscape Nursery (retail)		S				-
Landscape Nursery/Tree Farm (wholesale)						Sec. 2.52(A)17
Laundry, Drop-Off (with drive-through or window)	S	P	S			Sec. 4.20
Laundry, Drop-Off (without drive-through or window)	P	P	P	P		-
Laundry, Self-Serve (Laundromat)						-
Office, General	P	P	P	P		-
Pawn Shop						-
Personal Services	P	P	P	P		-
Pet Store (indoors only)	P	P	P			-
Pharmacy (with drive-through or window)	S	P	S			Sec. 4.20
Pharmacy (without drive-through or window)	P	P	P	P		-
Produce Stand/Outdoor Farmers Market		P	P	S		-
Restaurant (No Drive-Through)	P	P	P	P		-
Restaurant, Drive-Through		P	S			Sec. 4.20
Retail Store	P	P	P	P		-
Sexually Oriented Business						
Smoke Shop						-
Studio, Arts/Crafts	P	P	P	P		-

P

The land use is allowed by right in the zoning district indicated.

The land use is prohibited in the zoning district indicated.

S

The land use is allowed only upon approval of a Specific Use Provision (SUP) in the zoning district indicated.

	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR - Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Studio, Fitness or Performing Arts	P	P	P	P		-
Tattooing/Body Piercing Establishment						Sec. 2.52(A)6
Used Goods, Retail Sales (Indoors)		S				-
COMMERCIAL USES						
Bakery, Commercial						-
Building/Garden Materials Sales & Storage (wholesale)						Sec. 2.52(A)23
Bulk Material Sales & Storage (retail or wholesale)						Sec. 2.52(A)18
Contractor's Office/Storage Yard (outdoor storage)						Sec. 2.52(A)24
Contractor's Office/Warehouse (indoors only)						-
Custom Products Manufacturing	P					-
Equipment Leasing/Rental, Indoor						-
Equipment Leasing/Rental, Outdoor						Sec. 2.52(A)25
Feed/Grain Mill						-
Furniture and Appliance Cleaning/Repair						-
Garden, Commercial						-
Laundry Plant, Commercial						-
Meat and Game Processing						-
Pet Care/Play Facility (indoor)	P	P	P	P		Sec. 2.52(A)9



The land use is allowed by right in the zoning district indicated.



The land use is prohibited in the zoning district indicated.



The land use is allowed only upon approval of a Specific Use Provision (SUP) in the zoning district indicated.

	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR - Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Pet Care/Play Facility (outdoor)						Sec. 2.52(A)9
Portable Building Sales/Leasing						-
Printing/Publishing House		S	S			-
Recording Studio/Media Production	P	P	P			-
Recycling Collection Center (no outdoor storage)						Sec. 2.52(A)8
Recycling Salvage Yard (unlimited outdoor storage)						Sec. 2.52(A)8
Self-Storage Facility (mini-warehouse)		S				Sec. 2.52(A)16
Small Engine/Lawn Equipment Rental & Repair (indoors)						-
Taxidermist						-
Vehicle Dispatch & Storage						-
Veterinary Clinic, Large Animal (outdoor pens)						-
Veterinary Clinic, Small Animal (indoors only)	P	P	P	P		-
Veterinary Clinic, Small Animal (outdoor kennels, runs)						-
MOTOR VEHICLE & RELATED USES						
Automobile Leasing/Rental						-
Automobile Repair, Major						
Automobile Repair, Minor						
Automobile Sales, New or Used						-



The land use is allowed by right in the zoning district indicated.



The land use is prohibited in the zoning district indicated.



The land use is allowed only upon approval of a Specific Use Provision (SUP) in the zoning district indicated.

	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR - Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Boat Sales, Leasing & Repair (outdoor storage)						
Car Wash, Automated/Rollover						
Car Wash, Full-Service/Detail		S				
Car Wash, Self-Service/Wand						
Impoundment Lot (commercial/private)						-
Motorcycle/ATV Sales, Leasing & Repair (new and used – indoors only)						-
Parking Lot or Garage, Commercial	P	P	P			-
Personal Watercraft Sales, Leasing & Repair (new and used)						-
Recreational Vehicle/Trailer Sales, Leasing & Repair						-
Salvage Yard, Automotive						-
Travel Center						-
Truck/Bus Repair						-
Truck/Bus Sales & Leasing/Rental						-
Truck/Bus Storage						-
Truck/Bus Wash						
Wrecker/Towing Service						-
TRANSPORTATION USES						
Airport/Heliport						-



The land use is allowed by right in the zoning district indicated.



The land use is prohibited in the zoning district indicated.



The land use is allowed only upon approval of a Specific Use Provision (SUP) in the zoning district indicated.

	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR - Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Bus Stop	P	P	P	P		-
Helipad	S					-
Motor Freight Terminal/Railroad Switching Yard						-
Transit Station, Public	P	P	P			-
Transportation Depot, Passenger (commercial)						
Transportation Terminal, Passenger (commercial)						-
INDUSTRIAL USES						
Animal Feed Processing & Storage						-
Batching Plant						-
Batching Plant, Temporary	P	P	P	P	P	-
Data Center	P	P	P			Design standards in Section VI.A.10 shall apply
Distribution Center, Large (indoors only)						-
Distribution Center, Small (indoors only)	S					-
Food Processing & Storage						-
Gas or Petroleum Drilling or Pipeline						
Heavy Machinery Sales, Rental, Storage & Repair						-
High Risk Use						-

P

The land use is allowed by right in the zoning district indicated.

The land use is prohibited in the zoning district indicated.

S

The land use is allowed only upon approval of a Specific Use Provision (SUP) in the zoning district indicated.

	EMU – Employment Mixed Use	RMU - Retail Mixed Use	MU-MR - Mixed Use – Mixed Residential	T - Transition	MR – Mixed Residential	Cross-Reference(s) for Special Standards
Industrial or Manufacturing, Heavy						-
Industrial or Manufacturing, Light						-
Laboratory, Analytical or Research (indoor)	P					-
Leather & Allied Products Manufacturing						-
Mining/Mineral Extraction						-
Warehouse, Office/Showroom (indoors only)	S					-
UTILITY & SERVICE USES						
Antenna, Commercial	*	*	*	*	*	Div. 5, Art. 5, Ch. 2
Antenna, Private	*	*	*	*	*	Div. 5, Div. 6, Art. 5, Ch. 2
Electric Generating Plant						-
Electric Substation	S	S	S			-
Gas Regulating Station						-
Ground Water Storage Tank	P					-
Telecommunications Switching Station	S	S				-
Wind Energy Conversion System	S	S	S	S	S	Div. 7, Art. 5, Ch.2

VI. Development Standards: This section shall establish the overarching development standards for walkable, mixed-use development within the MUC-PD and all its Character Zones. Standards in this Section shall be applied during the development of a Detail Plan. Some standards apply to all the Character Zones within the MUC-PD District and other standards are specific to specific Character Zones.

A. General to the MUC-PD:

1. Intent: Standards in this PD are intended to facilitate the development of market responsive and pedestrian-friendly environments while discouraging monotonous and single use projects. To this end, design and development standards are intended to be tailored to create such an environment based on market-driven projects over a long- term development horizon. In order to provide flexibility in use and design with prescription of performance standards for specific building form outcomes, applicable development standards for each Character Zone shall be established through the Detail Plan for each proposed development.
2. Requirements for Site Development Standards by Character Zone: At the time of Detail Plan application, each applicant shall establish specific Site Development Standards for each Character Zone included in the Detail Plan area. These standards shall be based on Section VI.A and the criteria in the Site Development Standards Table 6-3 and shall be developed at the time of Detail Plan by the applicant.
3. General Layout Principles: All Detail Plans shall meet the following general principles:
 - i. Buildings and urban design shall contribute to the physical definition of Thoroughfares as Civic places.
 - ii. Development shall adequately accommodate automobiles while providing supportive design and programs/incentives to increase the use of other modes of transportation and respecting the spatial form of public areas.
 - iii. Buildings shall provide their inhabitants with a clear sense of geography and climate through energy efficient methods.
 - iv. Civic Buildings and public gathering places shall be provided as locations that reinforce community identity.
 - v. The plan should anticipate a harmonious and orderly evolution of the district based on market changes and reinvestment over time.
4. Frontage and Housing Mix Standards: In order to ensure that the PD implements the community's vision for a regional mixed use center with supporting mix of retail and mixed residential uses while providing for short term development opportunities that can be appropriately transitioned into higher intensity non-residential uses, Special Frontage and Housing Mix Standards are established in this MUC-PD District.
 - i. Frontage Standards: This section establishes the Frontage Standards for development within the primarily commercial zones of Employment Mixed Use, Retail Mixed Use, and Transition Zones and along certain street frontages as established in the ZFP.
 - a. Retail Mixed Use Zone (see Appendix A – Zoning Framework Plan for location of this requirement):
 - 1) Required Ground Floor Commercial Uses (see definition) along PGBT frontage road:
 - i. West of Campbell Road shall be within 250' deep as measured from the PGBT frontage road.
 - ii. East of Campbell Road shall be 300' deep as measured from the PGBT frontage road
 - 2) No ground floor residential permitted within the area designated for Ground Floor Commercial uses.

- 3) Upper floor residential allowed anywhere within this zone.
 - 4) No limitation on surface parking along the PG&BT frontage. Along Campbell Road frontage, surface parking shall be limited to no more than one double loaded aisle of parking (parallel, angled, or head-in).
- b. Employment Mixed Use Zone (applies to the blocks on both sides of Lookout Drive west of Telecom Drive and EMU area south of Lookout Drive and east of Telecom Drive; see Appendix A – Zoning Framework Plan for location of this requirement):
- 1) Required Ground Floor Commercial Uses for the entire zone.
 - 2) No ground floor residential uses permitted.
 - 3) Upper floor residential allowed anywhere within this zone with structured parking only.
 - 4) No limitation on surface parking along the PG&BT frontage. Along Lookout Road and Telecom Road frontage, surface parking shall be limited to no more than one double loaded aisle of parking (parallel, angled, or head-in).
- c. The following standards shall apply to frontages designated as “Special Frontage” along Lookout Road and Campbell Road (regardless of the specific character zone):
- 1) For ground floor commercial and commercial ready uses (w/ upper floor residential uses) the following frontage standards shall apply–
 - No more than one double loaded aisle of parking (parallel, angled, or head-in) shall be permitted between the building and the street.
 - Any such parking shall be screened along the sidewalk/street frontage to maintain a well-defined pedestrian edge with street trees and connections to building entrances.
 - Street intersections shall be anchored by building front façade design that turns the corner
 - No large parking lots at street intersections (beyond the one double-loaded aisle) and
 - Special façade design, articulation standards, 12’ min. ground floor height, shall apply (see Section VI.A.8).
 - 2) For ground floor residential uses, including SF and townhomes (attached or detached-- by no more than 5 feet) the following frontage standards shall apply (note: SF detached residential uses more than 5’ shall not be permitted with direct frontage along Campbell and Lookout Road)–
 - No off-street parking permitted between the building fronts and street along Campbell Road/Lookout Road.
 - All off-street parking in the rear (tuck-under, parking structure, or surface parking);
 - Parking shall be set behind buildings along Campbell and Lookout Roads;
 - Ground floor building height min of 12’ finished floor to finished floor;
 - No blank walls or opaque residential fences (open fences allowed - wrought iron, picket, and similar fences not taller than 3’).
 - Fronts of residential buildings to address the street (stoops, patios, porches, bay windows, doors, etc.).

- No large parking lots at street intersections (beyond the one double-loaded aisle) or anchor street intersections with building facades that turn the corner.
- Street trees and sidewalks required.
- Minimum façade design, articulation shall apply for residential building types (see Section VI.A.8).
- Landscaped and divided entry roadways into the neighborhood are permitted along Campbell and Lookout Roads

- ii. Housing Mix and Type Standards: Table 6-1 establishes the different categories of Housing Types and Table 6-2 establishes the minimum mix of housing types for each Detail Plan within the predominantly residential Character Zones of Mixed Use- Mixed Residential and Mixed Residential Zones.

Table 6-1 Housing Type Standards

Category/ Common Name		Lot Widths (min. – max.)	Garage or Primary Parking Location
Category 1	Type 1A	70' +	Any
	Type 1B	60' – 69'	Any
	Type 1C	50' – 59'	Any
Category 2	Type 2A	40' – 49'	Side or Rear
	Type 2B	25' – 39'	Side or Rear
Category 3	Type 3A on pedestrian mews, court, green, eyebrow, square, or other similar public space	40' – 49'	Rear
	Type 3B on pedestrian mews, court, green, eyebrow, square, or other similar public space	25' – 39'	Rear
	Multi-unit home	no min or max	Rear
	Townhome or Single Family Detached (if separated by 3' or less)	20' – 35'	Rear/tuck under
Category 4	Multi-family Residential	60' – no max	Rear/tuck under

Table 6-2 Housing Mix Requirements

Character Zone	Housing Mix Required	Notes
Mixed Use – Mixed Residential Zone	Minimum of 1 from Category 3 and minimum of 1 from either Category 2 or Category 4	Minimum number of units in each category included in each Detail Plan shall be either one block face or 10 units (whichever is less)
Mixed Residential	Minimum of 1 from Category 1 and minimum of 1 from either Category 2 or Category 3	Minimum number of units in each category included in each Detail Plan shall be either one block face or 10 lots (whichever is less)

5. Street Design Standards: Street cross sections in Appendix D, ITE's Designing Walkable Urban Thoroughfares manual or NACTO's Urban Street Design Guide shall be used to develop the streets within the MUC-PD. Generally, they shall:
 - i. Create a localized grid of pedestrian and vehicular travel ways.
 - ii. Be designed to create a pleasant walking environment with on-street parking and streetscape treatments.
 - iii. Discourage the use of cul-de-sacs unless natural features such as topography, floodplains or stream corridors, or practical site layout constraints make a street connection impractical or inefficient. In such cases, a trail or pedestrian pathway shall be utilized where a street cannot be constructed due to natural constraints or drainage elements. When such pedestrian pathways or trails are used as block edges, they shall be limited to no more than two edges of a block and the pathway or pedestrian facility shall be a minimum of 8' in width. They shall provide connectivity to adjoining neighborhoods or shopping and shall be within public access easements. Such block faces may be considered as Type A frontages only if they meet the building frontage requirement in that character zone along that block face.
 - iv. Blocks may be square, elongated or irregular. Block shape and size should respond to topography, existing vegetation, hydrology, and design intentions.
 - v. Average blocks widths shall be between 400 feet and 600 feet. Blocks should vary in size based on the Sample Illustrative Plans and character zone standards.
 - vi. Blocks that are longer than 1,000 feet should be bisected by a walking path, paseo or other similar pedestrian cut-through.
 - vii. Blocks may be bounded by streets or drainage features.
 - viii. Appendix D shall establish the cross section standards for the different street types in the MUC-PD.
 - ix. The Detail Plan shall establish the Type "A" and Type "B" development frontage designations per the character zone standards within the Development Standards Table 6-3 of this PD.
 - x. Porte-cochers may be used along Type "A" frontages but shall maintain the pedestrian streetscape along the edge of the street within minimal encroachments of driveways and with the utilization of street walls along the sidewalk/street frontage to help define the pedestrian and public realms.
6. Open Space Standards: The provision of adequate and appropriate open space areas shall be integral to all development in MUC-PD. The minimum requirement for open space in the district is 10% of the gross area of the site which shall be based on the locations identified in the Zoning Framework Plan (if any) and dedicated as open space in the Detail Plan. The design of open spaces within the development shall be integrated with the design of stormwater improvements. However, no more than 50% of any required open space shall be used solely for stormwater improvements such as retention ponds and creeks. The remaining 50% of the open space may be utilized for stormwater improvements only if amenitized and designed to also be usable open space per the criteria below. In addition to the following standards for the design, location, and orientation of open space, site specific standards shall also apply based on the Character Zone context:

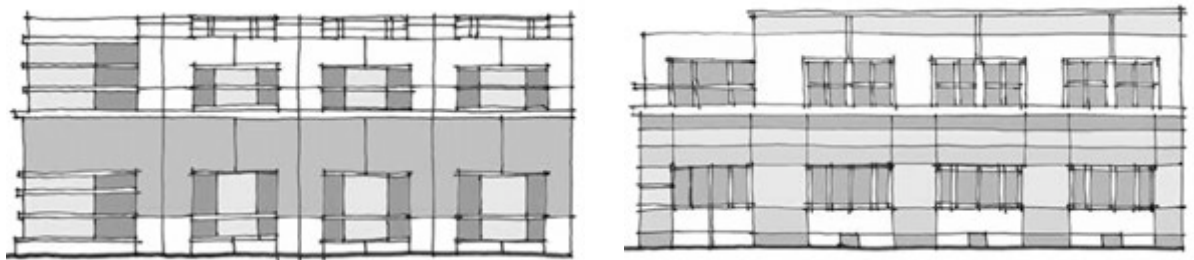
- i. The open space provided shall be appropriately distributed, designed and scaled in each of the character zones.
 - ii. The following criteria shall be used to evaluate the merits of proposed open spaces in the MUC-PD Detail Plan:
 - a. The extent to which environmental elements preserved are considered as “features” or “focal points” and integrated into and prominently featured as “front yards” in the development; adding value to the development;
 - b. The extent to which emphasis has been placed on preservation of existing wooded areas, view sheds, water bodies, topography, and stream corridors in a natural and contiguous state;
 - c. The extent to which pedestrian connectivity in the form of sidewalks, natural walking paths along stream and creek corridors has been accommodated; and
 - d. The extent to which a range of open spaces have been provided to be contiguous with existing open spaces and to invite passive recreational uses from plazas and squares to playgrounds, parks and environmental preserves, appropriately organized within the respective component zone.
 - iii. Open spaces may be in the form of plazas, pocket parks, children’s play areas, squares, linear greens, parks, and environmental preserves as outlined within Section 7.21 (Table 2.9.1) of the GDC. Active sports fields and structured recreational activities shall be limited to less than 10% of any required open space located in any character zone.
 - iv. Plazas and squares shall be permitted only in the Employment Mixed Use, Retail Mixed Use, and Mixed Use-Mixed Residential character zones. A plaza which is intended to serve as open space may be located at a street intersection or a focal point and shall generally be small in scale (under ¼ acre in size). A square which is intended to serve as open space may also be located at a street intersection or as a focal point of a development.
7. Special Designations: The following Special Designations are optional (unless required per Section VI.A.4 and Section VI.A.5), but if used, shall be designated on the Detail Plan:
- i. Mandatory and/or Recommended Commercial Ready/Active Edge Requirement: Shall be designated frontages requiring active ground floor uses for a minimum depth of 30’ (no residential units, lodging rooms, parking (except as permitted in Section VI.A.4), or service uses permitted) and with the ground floor façade being no less than 60% glazed (VT higher than 0.6). Such frontage designations are permitted in the following character zones: Employment Mixed Use, Retail Mixed Use, Mixed Use-Mixed Residential, and Transition.
 - ii. Designations for Mandatory and/or Recommended Gallery or Colonnade Frontage: requiring or advising that a building provide a permanent cover over the sidewalk, either cantilevered or supported by columns. The Gallery or Colonnade Frontage designation may be combined with a Commercial Ready or Commercial Required Frontage designation.

8. Building Design Standards: Building design standards shall be established at the time of the Detail Plan and shall be based on the following standards and criteria.
- i. Building Orientation:
 - a. Primary Façade Orientation: For EMU and MU-MR Character Zones, primary building facades for all non-residential and mixed use buildings shall be oriented towards a Type “A” frontage designation or toward a focal point such as a landscaped street, plaza, similar formal open space or an environmental feature (which shall be considered as a Type “A” frontage as long as a sidewalk or trail is located along that frontage and links the buildings to the open space/environmental feature). For Mixed Residential at least 50% of the lots shall be oriented to a Type “A” frontage designation or toward a focal point such as a landscaped street, plaza, similar formal open space or an environmental feature (which shall be considered as a Type “A” frontage as long as a sidewalk or trail is located along that frontage and links the buildings to the open space/environmental feature). For MU-MR Category 3 lots, at least 50% of the lots shall be oriented to a Type “A” frontage designation or toward a focal point such as a landscaped street, plaza, similar formal open space or an environmental feature (which shall be considered as a Type “A” frontage as long as a sidewalk or trail is located along that frontage and links the buildings to the open space/environmental feature).
 - b. Building Frontage: Lots and blocks along Type “A” frontages shall establish a minimum standard for building frontage per the Development Standards Table for each character zone. Lots and blocks along Type “B” frontages need not specify a minimum building frontage requirement. (see illustration in the Definitions section on how building frontage is to be calculated).
 - c. Building Setbacks and Build-to Zones: Buildings shall be built at or close to the sidewalk along Type “A” frontages to better define the pedestrian realm. Any off-street surface parking along Type “A” frontages shall be minimized, be located in the middle of the block, and screened by a minimum 3’ high vegetative screen. The specific minimum and maximum building setbacks shall be established by the applicant at the time of Detail Plan application per the criteria Development Standards Table for each character zone.
 - ii. Building Façade Standards:
 - a. Primary facades along Type “A” frontages shall contain the main entrance of any principal building located along that street.
 - b. All principal buildings located on a Type “A” frontage shall also have doors, windows, and other architectural features facing that street/frontage. Non-residential or mixed use corner buildings shall have at least one customer entrance facing each street or a corner entrance instead of two entrances.
 - c. The minimum ground floor height as measured from the finished sidewalk to the bottom of the second floor structural member for all Required and/or Recommended Commercial Ready frontages shall be 12 feet.
 - d. The ground floor elevation of all residential buildings along a designated Type “A” frontage (attached, detached, and stacked) located less than 10’ from the front property line or sidewalk shall be raised a minimum of 18” above the

finished level of the public sidewalk/trail in front of the residential structures. This standard does not apply to frontages where Commercial Ready ground floors are required.

- e. All development shall provide ground floor windows on the building façade facing and adjacent to a street (with the exception of alleys) or facing onto a park, plaza, or other civic space. The required area of windows and doors on each street façade along a Type “A” frontage, park, square, green, plaza, or other civic space as a percentage of that façade shall be established by the applicant at the time of Detail Plan based on the character zone criteria. The required minimum area of windows and doors on all other street facades (Type “B” frontages with the exception of alleys) may be reduced by 20% of the corresponding requirement along a Type “A” frontage façade. Darkly tinted windows and mirrored windows that block two-way visibility shall not be permitted along ground floor facades along Type “A” frontages.
9. Architectural Design Standards: To ensure compatibility of building types and to relate new buildings to the building traditions of the region, architectural design shall be regulated, governed, and enforced through architectural design standards proposed by the applicant at the time of Detail Plan. The applicant shall submit the proposed standards as a part of the Detail Plan application for all development in the proposed Detail Plan. The architectural design standards shall comply with Chapter 4, Article 6 of the GDC as the basis and may be varied as necessary. The Director of Planning shall review the proposed standards for compliance with this section and the GDC and shall be a part of the approval of the Detail Plan. Architectural design standards for any proposed development in the MUC-PD shall:
- i. specify the materials and configurations permitted for walls, roofs, openings, street furniture, and other elements;
 - ii. be based on traditional/historical building precedents from the region;
 - iii. include the following:
 - a. architectural compatibility among structures within the different building types included in the different character zones;
 - b. human scale design;
 - c. pedestrian use of the entire PD;
 - d. relationship to the street, to surrounding buildings, and appropriate transitions to adjoining land uses (including existing neighborhoods); and
 - e. special architectural treatment of gateways/civic buildings.
 - iv. All building frontages along public and private streets (with the exception of alleys) shall break any flat, monolithic facades by including architectural elements such as bay windows, recessed entrances, or other articulations so as to provide pedestrian interest along the street level façade including discernible and architecturally appropriate features such as, but not limited to, porches, cornices, bases, fenestration, fluted masonry, bays, recesses, arcades, display windows, unique entry areas, plazas, courts, or other treatments to create visual interest, community character, and promote a sense of pedestrian scale.
 - v. All buildings in the MUC-PD character zones shall be constructed with exterior building materials and finishes of a quality to convey an impression of permanence and durability. Materials such as masonry (stone, brick, 3-step stucco) and similar durable architectural materials are allowed as primary building materials and shall be approved with a Detail Plan.

- vi. Non-residential buildings and sites shall be organized to group the utilitarian functions away from the public view of any street (with the exception of alleys). Delivery and loading operations, HVAC equipment, trash compacting and collection, and other utility and service functions shall be incorporated into the overall design of the buildings and landscaping. The visual and acoustic impacts of all mechanical, electrical, and communications equipment (ground and roof-mounted) shall not be visible from adjacent properties and public streets, and screening materials and landscape screens shall be architecturally compatible with and similar to the building materials of the principal structures on the lot.
10. Design Standards for Data Centers: The following standards shall apply to any street facing facades of data centers in the MUC-PD. If data centers are located along Campbell Road or Lookout Drive, then the Special Frontage standards in Section VI.A.4.i.c shall supersede the standards below.
- i. Flat, blank walls shall not be allowed. If no windows and doors are provided along street facing façades, a minimum of one of the following treatments shall be required:
 - a. Color and textured panels to imitate the look of windows;
 - b. Horizontal or vertical articulations of the building façade; or
 - c. Changes in color, texture, or materials to provide horizontal and/or vertical rhythms



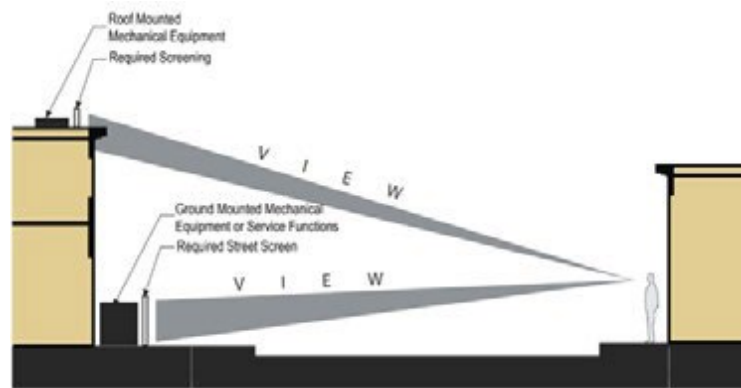
Desired street façade treatment for Data Centers

- ii. Any screening wall or security fence along a street shall meet the following standards:
 - a. Screening walls shall not be completely opaque.
 - b. They may be transparent or semi-opaque with architectural metal, wrought iron, galvanized steel or similar material or a combination of masonry columns and wrought iron with landscaping.
 - c. Screening walls along sidewalks shall be set back a minimum of 3' to allow for landscaping.
 - d. Screening wall height shall not exceed 10'
 - e. To the extent possible, any frontage of such screening walls shall be minimized along Type "A" streets.
 - f. To the extent possible, any frontage of such screening walls shall be minimized along Type "A" streets.



Images of desired screening/security fence design for data centers

- iii. In cases where a building may have to be setback more than the maximum setback allowed along a particular street for security or functional purposes, a screening wall or fence may be established within the build-to zone to provide for street wall definition. In such cases, the building shall be exempt from any maximum setback requirement in that character zone.
- iv. Any roof or ground mounted mechanical equipment shall be screened from view as shown in the illustration below. Design of such screening shall be architecturally integrated with the design of the building and use the same material as the primary façade material of the building.



Required screening of roof and ground mounted mechanical equipment

- v. In lieu of the above standards, the applicant may provide and request approval of alternative design standards for building facades and screening fences along street frontages. Such requests shall be reviewed by the Director of Planning and approved if the alternative standards submitted provide the same or greater level of design treatment as it relates to the street and adjoining neighborhood context and meets the intent of the standards in this section.

11. Location and Design of Parking and Service Areas: The number of off-street parking spaces provided shall be as set forth within Section 2.51 of the GDC unless the applicant provides alternative standards for the quantity of off-street parking proposed (both automobile and bicycle parking) for the MUC-PD character zones based on an analysis of the parking demand and a transportation management study for the mix of uses proposed and availability of on-street parking in the PD at the time of Detail Plan application. The Detail Plan shall establish the parking standards based on documented parking demand and transportation management study provided by the applicant. The standards set forth in the GDC shall be used if the applicant does not specifically provide alternative standards. Every effort should be made to incorporate shared parking as outlined within Chapter 4, Article 2 of the GDC. In addition, the location of surface parking on individual lots shall be regulated as follows:
- i. Except as described in Section VI.A.4, surface parking lots for non-residential uses shall be located at the side or rear of a building. Specifically, the frontage of off-street surface parking lots shall be minimized along Type “A” frontage designations. If located adjacent to a Type “B” frontage or a residential use, screening shall be provided in the form of a landscaped/vegetative or combination fence which is at least 3 feet in height.
 - ii. A surface parking lot may not be adjacent to a street intersection with a Type “A” frontage or civic space such as a plaza or square, or occupy a lot that terminates a street vista.
 - iii. Shared parking facilities are encouraged for uses in the Employment Mixed Use, Retail Mixed Use, Mixed Use-Mixed Residential, and Transition character zones.
 - iv. Bicycle parking shall be provided for non-residential uses, multi-family uses, and especially for schools, parks, trails, and other recreational facilities. Bicycle parking shall be provided at a rate of 2.5% of all off-street automobile parking spaces provided for all non-single-family residential uses (attached and detached) unless an alternative standard is established in conjunction with a parking study for specific Detail Plan. Bicycle parking may be shared between uses and should be centrally located, easily accessible, covered/protected from the elements, lit at night, and visible from streets or parking lots. They may be located between the roadway and the building facades as long as their location does not impede pedestrian walkways.
 - v. Any off-street parking provided for residential uses shall be located in such a manner as to minimize the impact of garages and driveways along the residential street. All residential lots that are 49 feet or less in width shall have off-street parking and/or garages accessed from alleys. All lots 50’ or wider may have front loaded garages, but in no case shall the width of the garage exceed 50% of the front façade width of the entire building. In addition, the garage shall be set back at least five (5) feet from the front façade of the home and at least twenty (20) feet from the front property line. J-swing garages may be permitted if they meet the standards above on lots 50’ or wider. Shared driveways on adjoining lots are permitted on lots 50’ or wider.

- vi. Front facing garage doors must employ at least four (4) architectural elements which may include balconies or other decorative overhangs above doors, columns flanking doors, decorative banding or moldings, multiple panel door designs or other architectural detailing with larger decorative brackets, windows/openings on garage doors, arches, decorative vent covers on gable just above garage, or sconce lighting flanking the garage doors.

12. Design of Automobile Related Site Elements (Drive-Throughs, service bays, etc.)

- i. Drive-through lanes, drive up windows, service bays, and other auto-related site elements shall not be located along or be visible from any Type "A" Frontages.
- ii. Along Type "B" Frontages, no more than 60% of the lot's frontage along a Type "B" Frontage shall be dedicated to auto-related site elements such as driveways, surface parking lots, or drive through/service bays).
- iii. Drive-through lanes shall be hidden behind a screening device (min. 3' in height) along the Type "B" frontage. There shall be no limit to the number or frontage of drive-through lanes located along alleys or internal driveways.
- iv. All off-street loading, unloading, and trash pick-up areas shall be located along alleys only. Such uses may be located along Type "B" Frontages only if the lot has no access to an alley. Any off-street loading, unloading, or trash pick-up areas shall be screened in accordance with Section VI.A.10.
- v. Driveways shall be located along Type "B" Frontages unless the site has no access to a Type "B" Frontage or alley. Two lane driveway widths shall be a maximum of 24' unless providing service access in which case they shall be no wider than 30'. Three lane driveways shall have maximum width of 36 feet and may only be located off Type "B" frontages or alleys. Driveways shall maintain a continuous and level sidewalk across the curb cut. Driveway spacing shall be per the GDC or as approved by the Director of Transportation. Driveways along PGBT access road are under the purview of Texas Department of Transportation (TxDOT) and shall meet TxDOT standards.
- vi. Driveways and streets shall meet the city's sight distance standards in the GDC.

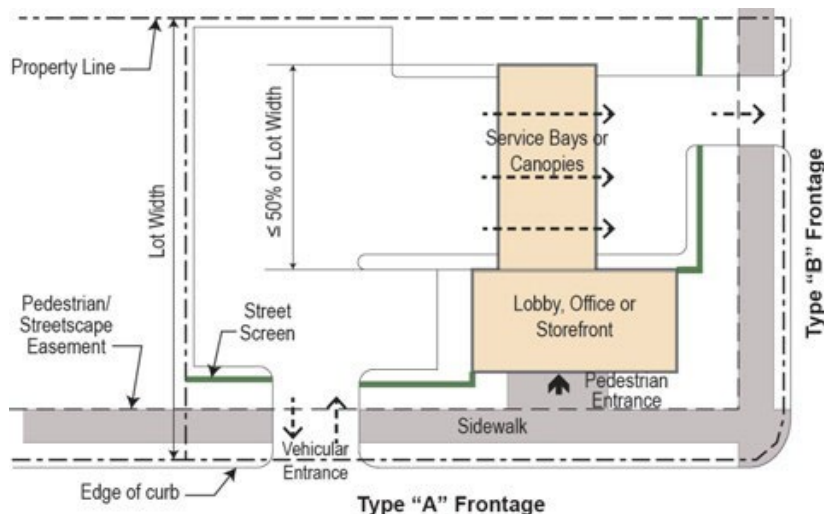


Image showing appropriate design of auto-related site elements

13. Design of Parking Structures

- i. All frontages of parking structures located on Type “A” frontages shall be lined by active edges or commercial ready frontages on the ground floor to a minimum depth of 30 feet.
- ii. Parking structure facades on all public streets (except alleys) shall be designed with both vertical (façade rhythm of 20’ – 30’) and horizontal (aligning with horizontal elements in the block) articulation.
- iii. All above-grade parking structures shall be designed with a distinguishable first floor, upper façades and roofs. Parking garage first floors shall be designed at human scale with pedestrian-scale elements such as awnings, canopies, window breaks and door openings. Above-grade parking garages may be designed using decorative metal elements such as ornate meshes, screens and the like, but shall not be allowed to have non-decorative steel guard cables that are visible to the public or to adjacent properties.
- iv. Where above ground structured parking is located at the perimeter of a building, it shall be screened in such a way that the majority of cars on all parking levels are not visible from adjacent buildings or a Type “A” street. Parking garage ramps shall, generally, be oriented so they are not visible from any Type “A” street. Ramps shall not be located along the perimeter of the parking structure with frontage along a Type “A” designation. Architectural screens shall be used to articulate the façade, screen parked vehicles, and shield car bumpers and headlights.



Images showing appropriate design of parking structures



14. Landscaping Standards

- i. The purpose of landscaping in the MUC-PD is to enhance pedestrian and open space areas, to help delineate active areas from passive areas, to provide a screening buffer between pedestrians and vehicular circulation, utility functions, and incompatible adjacent developments.
- ii. The applicant shall submit a landscape plan in conjunction with the Detail Plan application. The landscape plan establishes the design direction and general schematics for all proposed landscaping including all major aspects of the public realm such as street trees, plant/tree palette, streetscape treatments, pavement treatments, front yards, and medians; proposals for required parking lot landscaping, screening, design for all open spaces, and lighting.
- iii. Proposed landscaping shall meet the following standards:
 - a. Be pedestrian oriented.
 - b. Designed in such a way to not create a security or physical hazard to pedestrians, bicyclists or motorists.
 - c. Enhance or complement the architectural design of the mixed-use development.
 - d. Provide visual interest year-round. Utilize water conservation methods and drought tolerant planting where possible.
 - e. Shall be provided between parking lots and all adjacent sidewalks.
 - f. Meet the standards for Installation and Maintenance in the GDC Section 4.32.
 - g. Propose a plant/tree palette that mostly includes indigenous species. (Plant list in Section 4.48 of the GDC shall be used for the vegetation palette)

B. Site Development Standards by Character Zone

Standards in the MUC-PD are intended to facilitate the development of unique and pedestrian-friendly environments within the different character zones. To this end, design and development standards are intended to be tailored to create such an environment. In order to provide flexibility in use with prescription of the building form, some development standards for each Detail Plan in the PD shall be established via the Detail Plan consistent with the requirements in this PD.

The following standards shall apply to development in the MUC-PD. Most standards have a numerical range and few have a specific numerical value. Due to the inapplicability of one development standard across all character zones and to encourage a diversity of development proposals, the developer shall propose the standards indicated as “Flexible” or “Permitted/Flexible” on the following table (Table 6-3) for the proposed development at the time of Detail Plan application submittal. But the proposed standards shall be based on the Zoning Framework Plan and standards in this PD.

SH 190 FBC Zoning District					
TABLE 6-3: DEVELOPMENT STANDARDS TABLE					
Character Zone Development Standard	Employment Mixed Use	Retail Mixed use	Mixed Use – Mixed Residential	Transition	Mixed Residential
1.0 Building and Site Standards					
a. Principal Building Height*	No maximum	No maximum	10 stories or 65' by right	5 stories or 40' (maximum)	3 stories or 40' (maximum)
<i>* Building height shall be measured in number of stories. Habitable attics and mezzanines shall be excluded from the height calculation as long as they do not exceed 50% of the floor area of a typical floor in the same building.</i> <i>Height Compatibility Zone Along Holford Road (applies to all character zones): All development within 200 feet of Holford Road (as measured from the western edge of Holford Road ROW) shall be limited to no more than 3 stories. (see Zoning Framework Plan for location)</i>					
b. Setbacks and build-to zones**	Note about measuring setbacks: In cases where the ROW is established at or behind the curb line of streets, setbacks shall be measured from the edge of the pedestrian easement or parkway /streetscape zone or utility easement closest to the building face along that street.				
Front – Type “A” frontages^	Min. setback = Flexible; Max. setback = 25'	Min. setback = 5' - 15'; Max. setback = 25'	Min. setback = 5' - 20'; Max. setback = 30'	Min. setback = 5' - 20'; Max. setback = 30'	Min. setback = 5' - 20'; Max. setback = 40'
Front – SH 190	Min. setback = 20'; Max. setback = Flexible	Min. setback = 20'; Max. setback = Flexible			
Type “B” Frontage	Min. setback = 5'; Max. setback = Flexible	Min. setback = 5'; Max. setback = Flexible	Min. setback = 10'; Max. setback = Flexible	Min. setback = 10'; Max. setback = Flexible	Min. setback = 10'; Max. setback = Flexible
Side	Flexible	Flexible	Flexible	Flexible	Flexible
Rear	Flexible	Flexible	Flexible	Flexible	Flexible
<i>**Minimum and/or maximum setback standards shall be proposed by the applicant for each character zone based on the above criteria and Development Standards established in this PD.</i> <i>**Specific standards for curvilinear streets may be proposed.</i> <i>^ Maximum setbacks along Type “A” frontages that are along improved public space (park, plaza or other civic feature) between the street/sidewalk and building face may exceed the standards established in this table.</i>					
c. Minimum Building Frontage ^e					
Type “A” Frontages	60%	60%	60%	60%	60%
All other Frontages	None required	None required	None required	None required	None required
<i>^eCorner building facades at street intersections shall be built to the build-to-zone for a minimum of 30' from the corner along both streets or the width of the corner lot, whichever is less. This standard shall apply to any street intersection with a Type “A” Development Frontage designation (even if the cross street has a Type “B” Frontage designation).</i>					
d. Accessory buildings	Permitted/Flexible	Permitted/Flexible	Permitted/Flexible	Permitted/Flexible	Permitted/Flexible
<i>Standards for accessory uses and structures shall be provided by the applicant. The standards shall result in accessory buildings being subordinate in size and scale to the principal building. Standards in Division 4, Article 5, Chapter 2 of the GDC shall apply if the applicant does not specifically provide regulations for accessory uses and structures.</i>					
e. Principal building orientation	Buildings shall be oriented to a Type “A” frontage or toward another focal point such as a park, plaza, square, other open space or environmental feature.				
f. Building façade & architectural design standards	The applicant shall propose appropriate building façade and architectural design standards for all the character zones in the development with the application for Detail Plan. They shall be based on the criteria established in this PD.				
2. Block and Lot Standards					

SH 190 FBC Zoning District					
TABLE 6-3: DEVELOPMENT STANDARDS TABLE					
Character Zone Development Standard	Employment Mixed Use	Retail Mixed use	Mixed Use – Mixed Residential	Transition	Mixed Residential
a. Block Type	Regular (square or rectangular) Irregular blocks may be permitted only if natural topography, existing roadways, and/or vegetation prevents a rectilinear grid			Regular or irregular (square, rectangular, or curvilinear based on topography, existing roadways and vegetation)	
b. Block Perimeter	Max. block perimeter = 2,500	Max. block perimeter = 3,000'	Max. block perimeter = 3,000' (unless limited by unique site conditions such as topography and vegetation)	Max. block perimeter = 2,000' (unless limited by unique site conditions such as topography and vegetation)	Max. block perimeter = 2,000' (unless limited by unique site conditions such as topography and vegetation)
c. Type "A" Development Frontage (Frontages along civic/open spaces shall be considered Type "A" development frontage)#	Minimum of 25% of all new block frontages to be designated as Type "A" Development Frontage	Minimum of 25% of all new block frontages to be designated as Type "A" Development Frontage	Minimum of 50% of all new block frontages to be designated as Type "A" Development Frontage	Minimum of 25% of all new block frontages to be designated as Type "A" Development Frontage	Minimum of 50% of all new block frontages to be designated as Type "A" Development Frontage
d. Lot Area	Flexible	Flexible	Flexible	Flexible	Flexible
e. Lot Width and Depth	Flexible	Flexible	Flexible	Flexible	Flexible
f. Minimum Lot Mix. Required	No	No	Yes (To be established to get a mix of residential building types)	No	Yes (To be established to get a mix of residential building types)
g. Maximum Lot Coverage	Flexible	Flexible	Flexible	Flexible	Flexible
# Blocks w/ more than 40% frontage along PGBT and Campbell need not meet minimum Type "A" block designation standards so long as they provide the following (i) continuous pedestrian path/trails on the major non-PGBT block faces at least 8 feet in width and shaded by trees; (ii) improved pedestrian crossings at all intersections from adjoining blocks even if private service drives; and (iii) utilize at least 5% of the 10% open space requirement for improved pedestrian gathering spaces connected through a continuous walkable environment to any adjoining development within the MUC-PD.					
3. Street Design Standards (This standard applies to all new streets, public and private, located in the SH 190 FBC Zoning District)					
Street design standards in the SH190 EC-PD shall be based upon creating a safe and inviting walking environment through an interconnected network of roads with sidewalks, street trees, street furniture, and amenities. Cul-de-sacs are prohibited unless natural features such as topography or stream corridors prevent a street connection. The right-of-way widths for streets in the SH 190 FBC shall be based on the palette of street types established in Appendix D. They are based on the ITE's Designing Walkable Urban Thoroughfares manual and NACTO's Urban Street Guide. They may be adjusted based on the specific Detail Plan with the approval of the City Engineer. Bicycle facility widths may be modified based on the City's adopted Master Thoroughfare Plan standards.					
a. Design speed	≤30 mph	< 25 mph	< 25 mph	< 25 mph	< 25 mph
b. Street types allowed	i. Boulevards: 4-lane divided) ii. Avenues: 3-lane divided iii. Main streets iv. Residential streets: 2-lane undivided v. Commercial Alleys	i. Boulevards: 4-lane divided) ii. Avenues: 3-lane divided iii. Main streets iv. Residential streets: 2-lane undivided v. Commercial Alleys	i. Boulevards: 4-lane divided) ii. Avenues: 3-lane divided iii. Residential streets: 2-lane undivided iv. Commercial and Residential Alleys	i. Boulevards: 4-lane divided) ii. Avenues: 3-lane divided iii. Residential streets: 2-lane undivided iv. Residential Alleys	i. Boulevards: 4-lane divided) ii. Avenues: 3-lane divided iii. Residential streets: 2-lane undivided iv. Residential Alleys
c. Travel lane widths	Appendix D, ITE's Designing Walkable Urban Thoroughfares manual or NACTO's Urban Street Design Guide shall guide the development of street design standards and shall be established as part of the DP with the approval of the City Engineer.				
d. Turning radii					
e. On-street Parking (along all internal streets except alleys) • Parallel	Permitted	Permitted	Permitted	Permitted	Permitted

SH 190 FBC Zoning District TABLE 6-3: DEVELOPMENT STANDARDS TABLE					
Character Zone Development Standard	Employment Mixed Use	Retail Mixed use	Mixed Use – Mixed Residential	Transition	Mixed Residential
• Angled (head-in or reverse angled).	Permitted	Permitted	Permitted	Permitted	Permitted
• Head in perpendicular	Not permitted	Not permitted	Not permitted	Not permitted	Not permitted
f. Parking lane width					
• Parallel	8 feet	8 feet	8 feet	8 feet	8 feet
• Angled	18-20 feet	18-20 feet	18-20 feet	18-20 feet	18-20 feet
g. Alleys*	Permitted/Flexible	Permitted/Flexible	Permitted/Flexible	Permitted/Flexible	Permitted/Flexible
4. Streetscape Standards					
a. Sidewalks/Trails/ Walkways	10 feet (min. along Type “A” Frontages) 6 feet (minimum along all other streets except alleys)	6 feet (minimum)	6 feet (minimum)	6 feet (minimum)	5 feet (minimum)
b. Planter/Planting Strip Type	Required - Tree wells or Planters	Required - Tree wells or Planters	Required - Tree wells or Planters	Required - Tree wells or Planters	Required - Planters
c. Planter/Planting Strip width	6 feet (min.) wide tree well or planting strip	6 feet (min.) wide tree well or planting strip	6 feet (min.) wide tree well or planting strip	6 feet (min.) wide tree well or planting strip	6 feet (min.) wide planting strip
d. Street trees	Required/Flexible	Required/Flexible	Required/Flexible	Required/Flexible	Required/Flexible
The applicant shall submit a proposed street tree planting plan, including a tree palette and spacing as a part of the Landscape Plan, which shall be reviewed as part of the Detail Plan and must be approved at time of Detail Plan. The requirements for the landscape plan are outlined in Section VI.A.14 of this PD.					
5. Open/Civic Space Standards					
a. Open/Civic Space	Required/Flexible Squares and plazas are appropriate	Required/Flexible Squares and plazas are appropriate	Required/Flexible, Squares and greens are appropriate	Required/Flexible, Squares and greens are appropriate	Required/Flexible, Squares and greens are appropriate
*Overall open/civic space allocations in the MUC-PD shall be a minimum of 10% of the gross area of the entire site included in the Detail Plan and shall be distributed appropriately between the character zones. The location and design of appropriate open spaces shall be based on Section VI.A.6 of this PD.					
6. Parking & Screening Standards					
a. Off-street parking	The number of off-street parking spaces provided shall be as set forth within Section 2.51 of the GDC. The applicant may provide alternative standards for the quantity of off-street parking proposed (both automobile and bicycle parking) for the MUC-PD character zones based on an analysis of the parking demand and a transportation management study for the mix of uses proposed and availability of on-street parking in the PD at the time of DP application. The PD shall regulate the location and design of all proposed off-street parking including any structured parking proposed per Section VI.A.12 and VI.A.13.				
Parking standards in the FBC Zoning District are intended to be flexible due to the mixed use nature, shared parking opportunities, and availability of on-street parking.					
b. Off-street loading	Section 4.22 of the GDC applies unless alternative standards are provided				N/A

* Alleys shall be required for all residential development with lots 50 feet or less in width.

SH 190 FBC Zoning District					
TABLE 6-3: DEVELOPMENT STANDARDS TABLE					
Character Zone Development Standard	Employment Mixed Use	Retail Mixed use	Mixed Use – Mixed Residential	Transition	Mixed Residential
c. Screening 1. Trash/recycling receptacles	Required/Flexible	Required for non-residential uses Flexible for residential uses (along alleys if alleys are provided)	Required for non-residential uses Flexible for residential uses (along alleys if alleys are provided)	Required for non-residential uses Flexible for residential uses (along alleys if alleys are provided)	Flexible for residential uses (along alleys if alleys are provided)
2. Other utility equipment	See Sec. VI.A.11				
3. Loading spaces	Screening required for non-residential uses. Section 4.41 and Section 4.42 of the GDC applies for non-residential uses only unless alternative standards are provided				
4. Surface parking areas	Required/Flexible (Standards in Section 4.35 and Section 4.44 of the GDC shall apply to any surface parking located along any public street with the exception of alleys unless the applicant proposes alternative screening standards at the time of Detail Plan.)				
7. Landscape and Streetscape					
a. Landscaping# 1. Landscape buffer between surface parking and sidewalks/trails and streets (except alleys)	Required/Flexible	Required only for non-residential uses	Required only for non-residential uses	Required only for non-residential uses	N/A
2. Parking lot minimum interior landscaping	Flexible	Flexible	Flexible	Flexible	N/A
#The applicant shall provide a landscape plan with the Detail Plan application that identifies landscape themes and general design approach addressing street tree planting, streetscape treatments, any required screening, parking lot landscaping, and landscaping proposed in all the identified open space areas. Information provided at the Detail Plan phase may be schematic meeting the design intent of the proposed development. Detailed landscaping plans shall be required at the site plan stage for all non-residential development. The requirements for the landscape plan are outlined in Section VI.A.14 of this Code.					
b. Lighting 1. Street Lighting 2. Building entrances 3. Parking areas, trails, and streets	Required/Flexible (As a part of the Detail Plan application, the applicant shall propose lighting standards that includes street light standards and other amenities as a part of the streetscape treatment plan. The landscape plan may be combined with a plan for lighting.)				
8. Signs					
Flexible (Flexible signage in the SH 190 MUC-PD may be proposed by the applicant and approved by the Plan Commission as part of the Detail Plan application or as a separate Master Sign Plan. Signage in the SH 190 MUC-PD shall integrate the streetscape and architectural design of the district through a palette of signs that enhance the pedestrian environment and create a unique identity. If no standards are proposed by the applicant, standards in Chapter 4, Article 5 of the GDC shall apply.)					
9. Stormwater Drainage: Detention of storm water runoff is only required for drainage areas abutting the Spring Creek Forest Preserve Ecological Boundary an approximately 450 to 550-foot wide strip of property north of the SH 190 service road between Campbell and Holford Roads and / or when the development generates a runoff greater than the downstream storm sewer system is designed for.					

VII. Definitions

Many terms used in this Section are defined in GDC. Definitions are only included here if not defined in Chapter 6 of the GDC, or if the definition for this PD differs from Chapter 6 of the GDC. In case of a conflict between the definitions under this Section and the GDC, the definitions in this section shall supersede.

Block Perimeter

Is the sum total of all block face dimensions circumscribed by public or private streets and pedestrian facilities with public access easements per the requirements in this PD.

Build-to Zone (BTZ)

Is the area between the minimum and maximum front setbacks from the edge of the pedestrian easement closest to the building facade. The principal building façade line shall be located within this area.

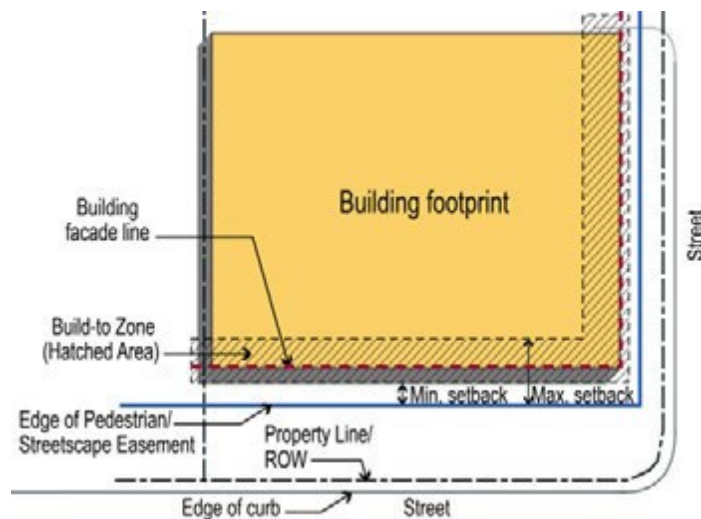
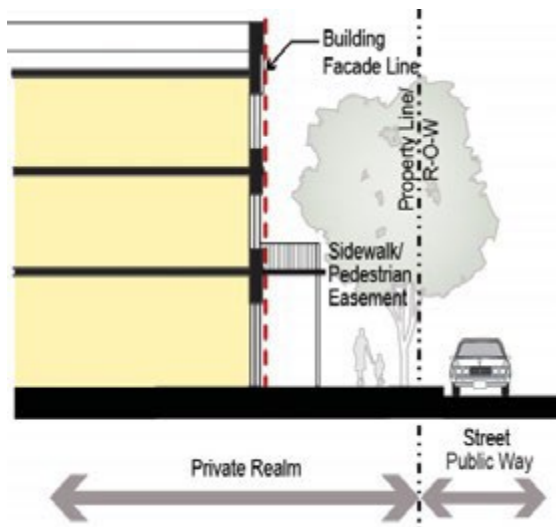


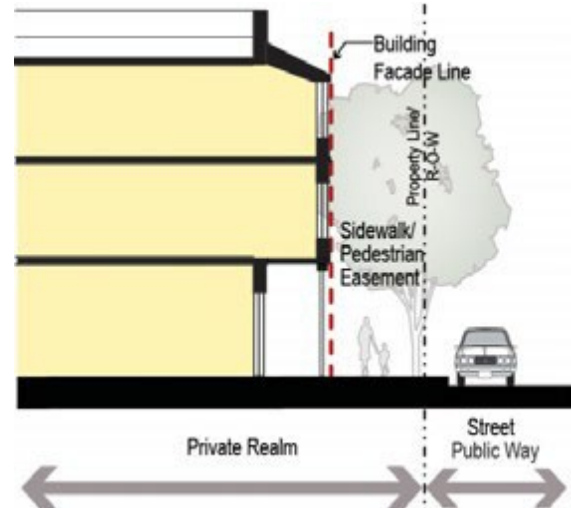
Illustration indicating the location of the build-to zone relative to the minimum and maximum setbacks and the building façade line

Building Façade Line

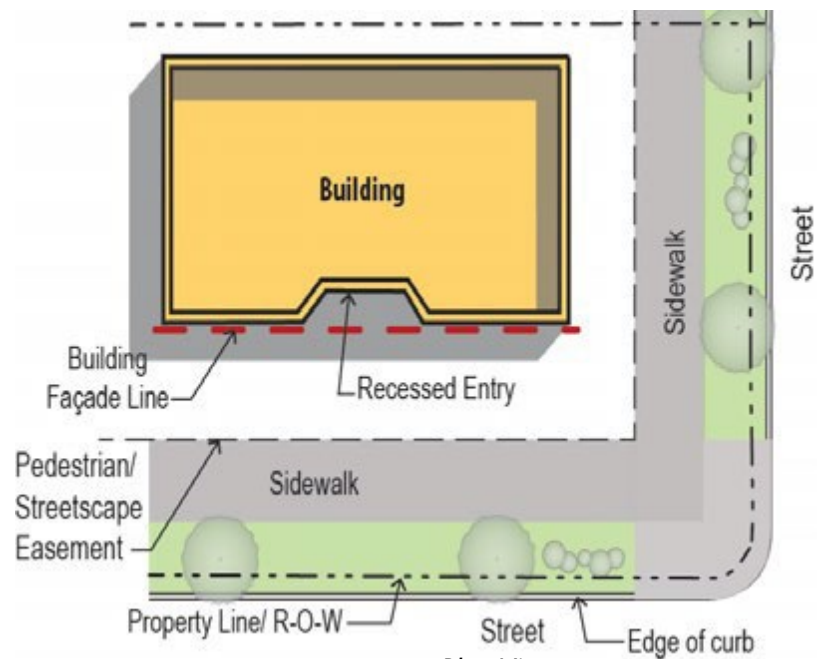
Is the location of the vertical plane of a building along a street frontage.



Section View – Gallery Building



Section View – Arcade Building



*Plan View
Building Façade Line Illustrations*

Building Frontage

Is the percentage of a building's façade line that is required to be located within the Build-to Zone (BTZ) as a proportion of the lot's width along the fronting public street. Required driveways, stairs to access entrances, parks, plazas, squares, improved forecourts, and pedestrian breezeway frontages shall count towards the required building frontage.

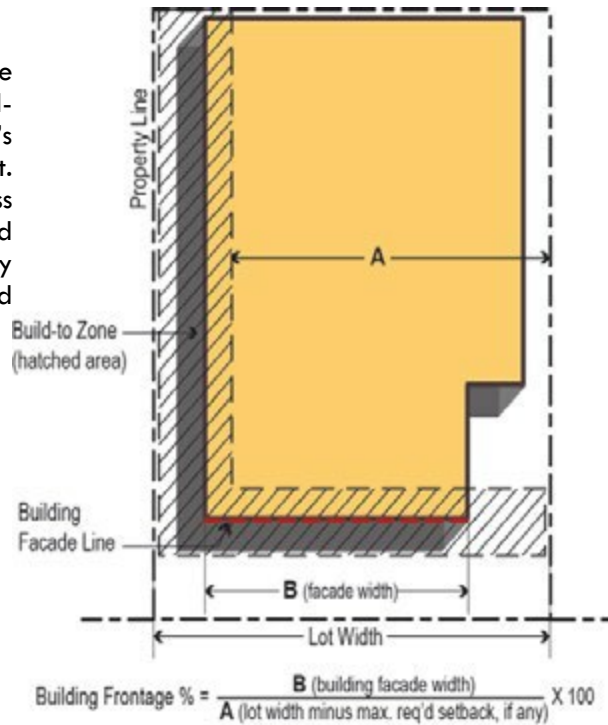


Image showing Building Frontage calculation

Building Step-back

Building step-back is the setting back of the building façade line away from the street at a specific floor or height.

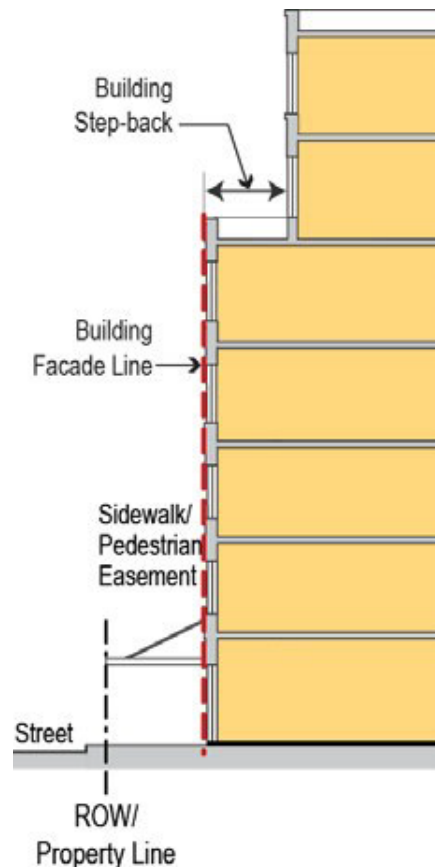


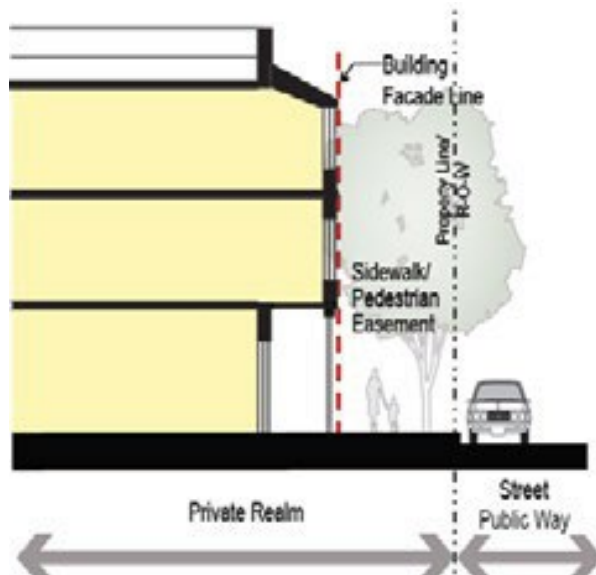
Illustration of a Building Step-back

Colonnade

Is a portion of the main façade of the building that is at or near the property line and a colonnade supports the upper floors of the building. Colonnades are intended for buildings with ground floor commercial or retail uses. The ground floor area within the colonnade may be conditioned or non-conditioned space.



Images of colonnade buildings



Images of colonnade buildings

Character Zone

Means an area within any SH 190 MUC-PD District that is intended to preserve and/or create an urban form that is distinct from other areas. Arrangement and allocation of the Character Zones are in the Zoning Framework Plan.

Commercial Use or Mixed Use Building

Means a building in which at least the ground floor of the building is built to Commercial Ready standards and any of the floors are occupied by non-residential or residential uses.

Commercial Ready or Commercial Required

Means a ground floor space constructed with appropriate building orientation, entrance and window treatment and floor-to-floor height in order to accommodate ground floor retail/commercial uses (including but not limited to commercial, retail, restaurant, entertainment, and lobbies for civic, OR hotel, or multi-family uses). Standards for Commercial Ready or Active Edge frontages are to be established based on the requirements of this PD. Prior to the issuance of a certificate of occupancy for a retail/commercial use in a Commercial Ready space, the space must comply with all building and construction Sections for commercial uses. The intent of Commercial Ready or Commercial Required space is to provide the flexibility of occupying a space in accordance with market demand and allowing the use in such space to change to retail/commercial uses accordingly.

Comprehensive Plan:

Is Envision Garland, the City of Garland's comprehensive framework for informed decision making and establishes the blueprint for the long-term growth and development of the City.

Data Center:

Is a facility used to house computer systems and associated components, such as telecommunications and storage systems. It generally includes redundant or backup power supplies, redundant data communications connections, environmental controls (e.g., air conditioning, fire suppression) and various security devices.

Director of Planning

Shall be the City of Garland Director of Planning or his/her designee.

Dwelling, Single-Family Attached (Townhouse)

One of a group of no less than three nor more than six attached dwelling units, separated from each other by fire-rated walls in compliance with the City's building codes or separated from each other by no more than 5 feet. Each dwelling unit occupies its own separately platted lot and may be two or more stories in height. Does not include Dwelling, Multi-Family or Dwelling, Single-Family Detached.

Encroachment

Means any structural or non-structural element such as a sign, awning, canopy, terrace, or balcony that breaks the plane of a vertical or horizontal regulatory limit, extending into a setback, into the public right-of-way, or above a height limit.

Façade Area

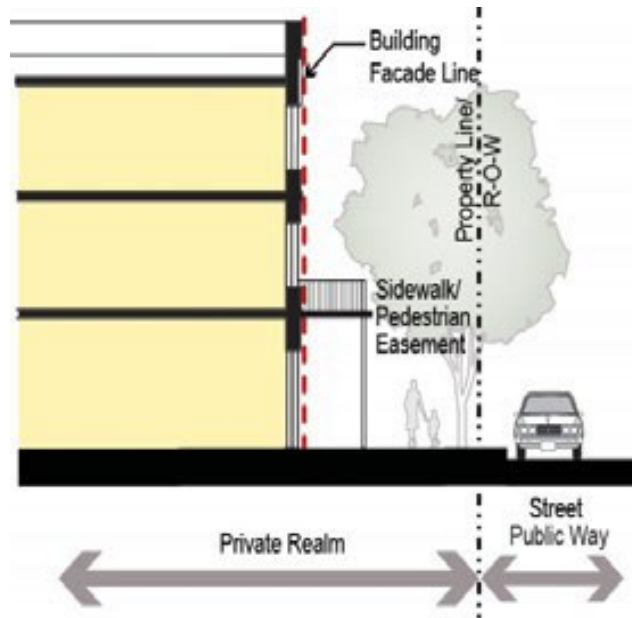
Means the surface area of a building's elevation (including all floors) not counting minor indentations fronting a particular street. Ground floor façade area is the surface area of a building's ground floor elevation not counting minor indentations fronting a particular street. Upper floor façade area is the surface area of a building's upper floor elevations not counting minor indentations fronting a particular street.

Frontage Designation

As identified on the approved Detail Plan, future streets in the SH 190 MUC-PD Districts are designated as Type “A” or Type “B”. Each frontage designation establishes a certain development context in order to improve walkability and pedestrian orientation within the district.

Gallery

Is a roofed promenade or canopy, especially one extending along the wall of a building and supported by arches or columns on the outer side. The gallery space is unenclosed (non-conditioned) space and may be 2 or more stories tall.



Images of Galleries

ITE's Designing Walkable Urban Thoroughfares Manual

Daisa, James M., *Designing walkable urban thoroughfares: a context sensitive approach*.
Washington, DC: Institute of Transportation Engineers. (most recent edition)

Live-Work Unit

Means a dwelling unit that is also used for work purposes, provided that the 'work' component is restricted to the uses of professional office, artist's workshop, studio, or other similar uses and is located on the street level and constructed as separate units under a condominium regime or as a single unit. The 'live' component may be located on the street level (behind the work component) or any other level of the building. Live-work unit is distinguished from a home occupation otherwise defined by the TDS in that the work use is not required to be incidental to the dwelling unit, non-resident employees may be present on the premises and customers may be served on site.

Minor Amendments

Means a requested amendment to an approved plan (DP) per Table 4-1. The Director of Planning shall have the authority to approve or approve with conditions or deny a minor amendment to an approved plan.

Multi-Unit home

Means a Residential building containing between 2 and 6 units either as leasable units or individually owned. Architecturally, multi-unit homes are designed to appear similar to single-family homes with only one or two primary entrances per street frontage. Additional entrances are permitted along other non-street facing facades.

NACTO's Urban Street Design Guide

Urban Street Design Guide. New York City: National Association of City Transportation Officials.
(most recent edition)

Open Space

Is publicly accessible open space in the form of parks, courtyards, forecourts, plazas, greens, playgrounds, squares, etc. provided to meet the standards in of this PD. Open space may be privately or publicly owned and/or maintained.

Primary Entrance

Means the public entrance located along the front of a building facing a street or sidewalk and provides access from the public sidewalk to the building. It is different from a secondary entrance which may be located at the side or rear of a building providing private controlled access into the building from a sidewalk, parking or service area.

Residential Use Building

Means a building that is built to accommodate only residential uses on all floors of the building such as a detached single family home, attached single family home (i.e. townhome), two family home (i.e. duplex), multiple family (3 or more), apartment building (under single ownership or under multiple owners within a condominium regime).

Sample Illustrative Plan

Is to provide guidance on how to translate the Zoning Framework Plan into a Detail Plan that establishes the details required to develop under this PD including, but not limited to, the allocation of component zones, layout of streets and open spaces, and mix and intensity of uses. These Sample Illustrative Plans will then be the basis to create final Detail Plan by property owners/developers at the time of new development.

Service-related site functions

Means all uses that support the principal use on the site including parking access, garbage/trash collection, utility meters and equipment, loading/unloading areas, and similar uses.

Street Screen

Is a freestanding wall or living fence or combination fence built along the frontage line or in line with the building façade along the street. It may mask a parking lot or a loading/service area from view or provide privacy to a side yard and/or strengthen the spatial definition of the public realm.



Image of a combination masonry and living street screen

Street Wall

Indicates the creation of a “wall” or a sense of enclosure along the street with buildings placed immediately adjacent to the street/sidewalk. A street wall has a “void” if there is a surface parking lot or service area adjacent to the sidewalk/street.

Type “A” Frontage

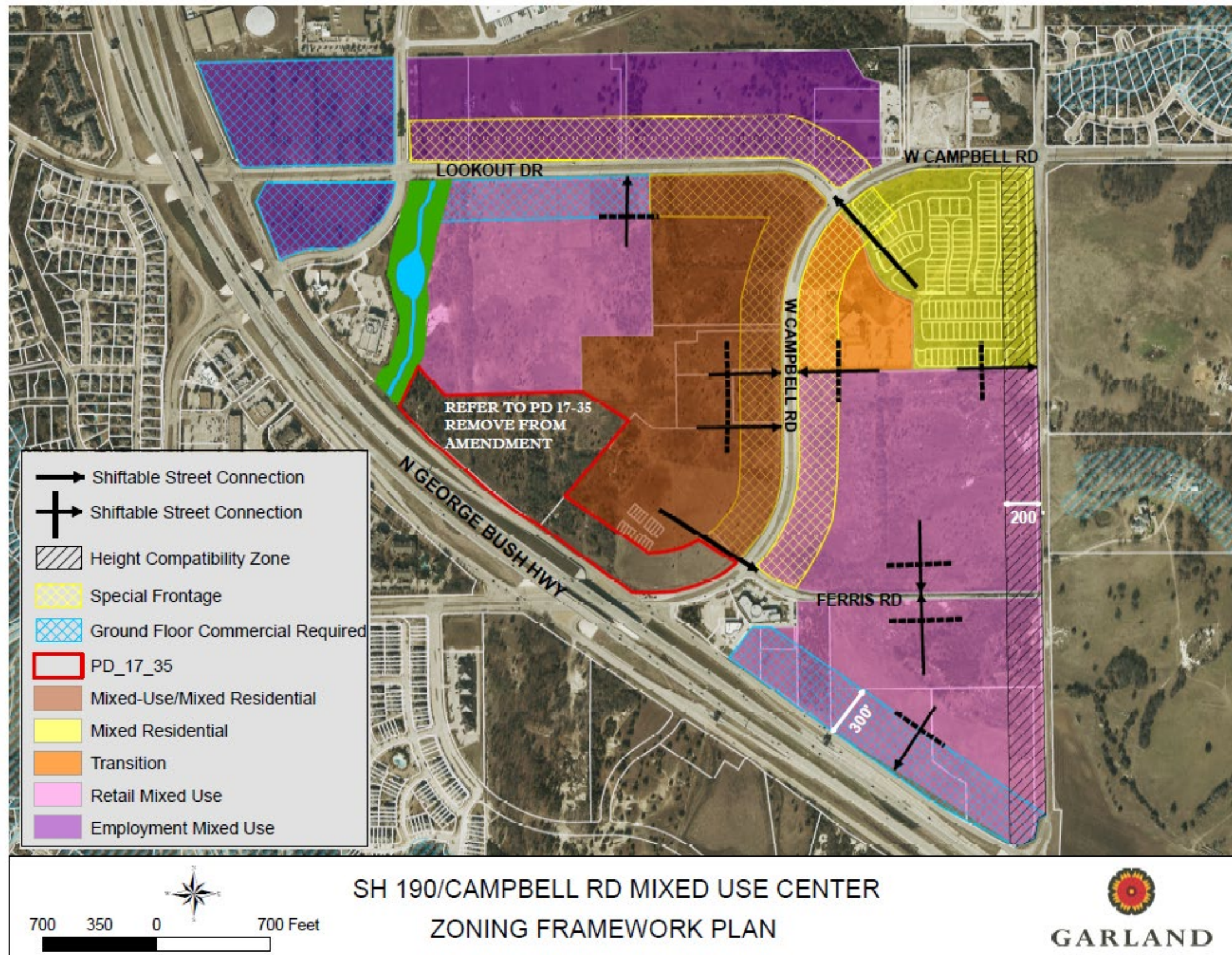
Means the block frontages identified as such on the adopted Detail Plan. Type “A” frontages are the primary pedestrian frontages and buildings along Type “A” frontages shall be held to the highest standard of pedestrian-oriented design. If Type “A” frontages are facing Type “B” frontages along the same street, the Type “B” frontages shall utilize enhanced streetscaping and/or landscaping to complement the streetscaping or landscaping utilized by the facing Type “A” Frontage including the screening of surface parking lots along the Type “B” Frontage in order to minimize the interruption to the quality of pedestrian experience along such frontage.

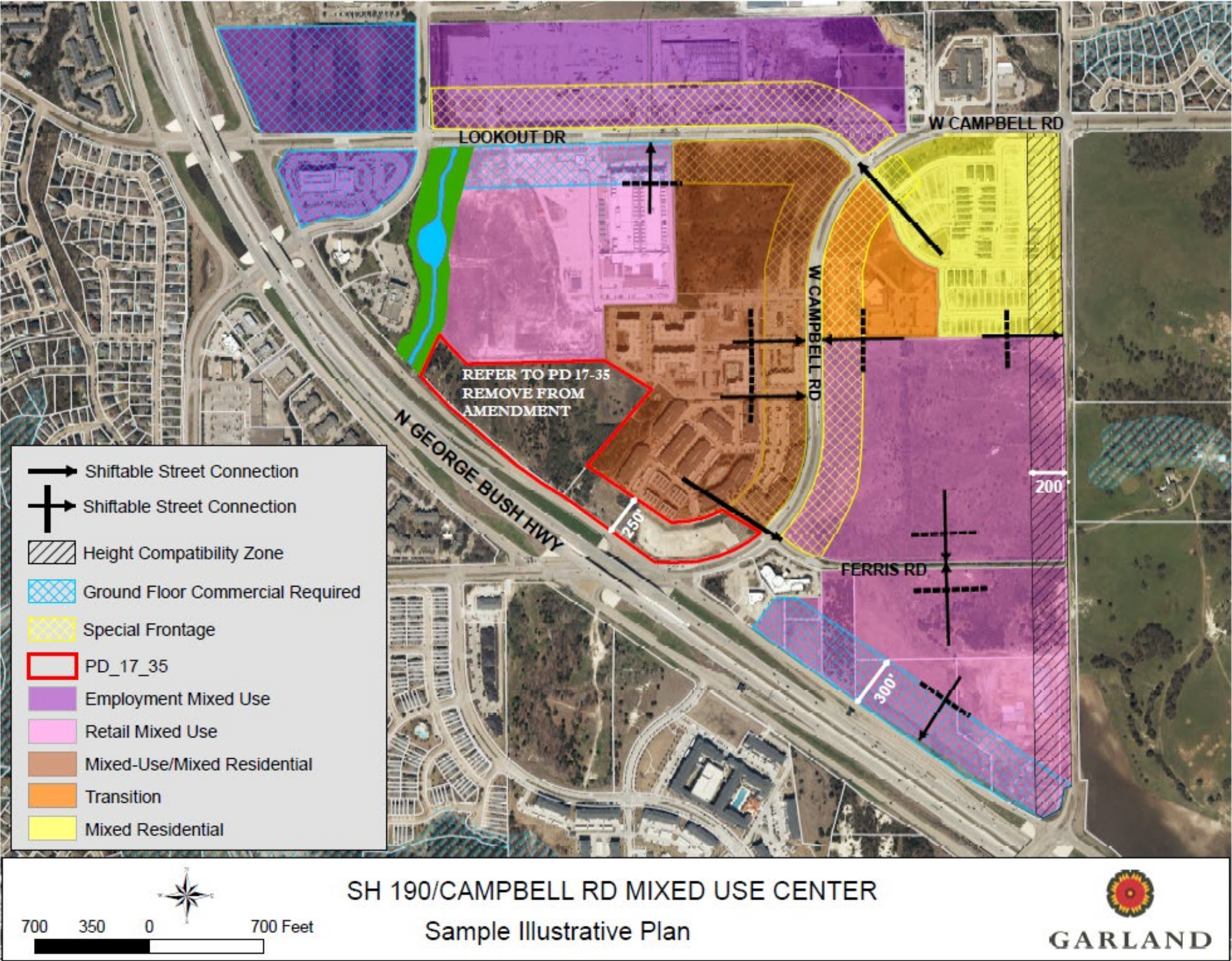
Type “B” Frontage

Means the block frontages identified as such on the adopted Detail Plan. Type “B” frontages are intended to primarily accommodate access to parking, service, utility, and other auto-related functions. See above requirement when Type “B” Frontages are located facing Type “A” Frontages along the same street

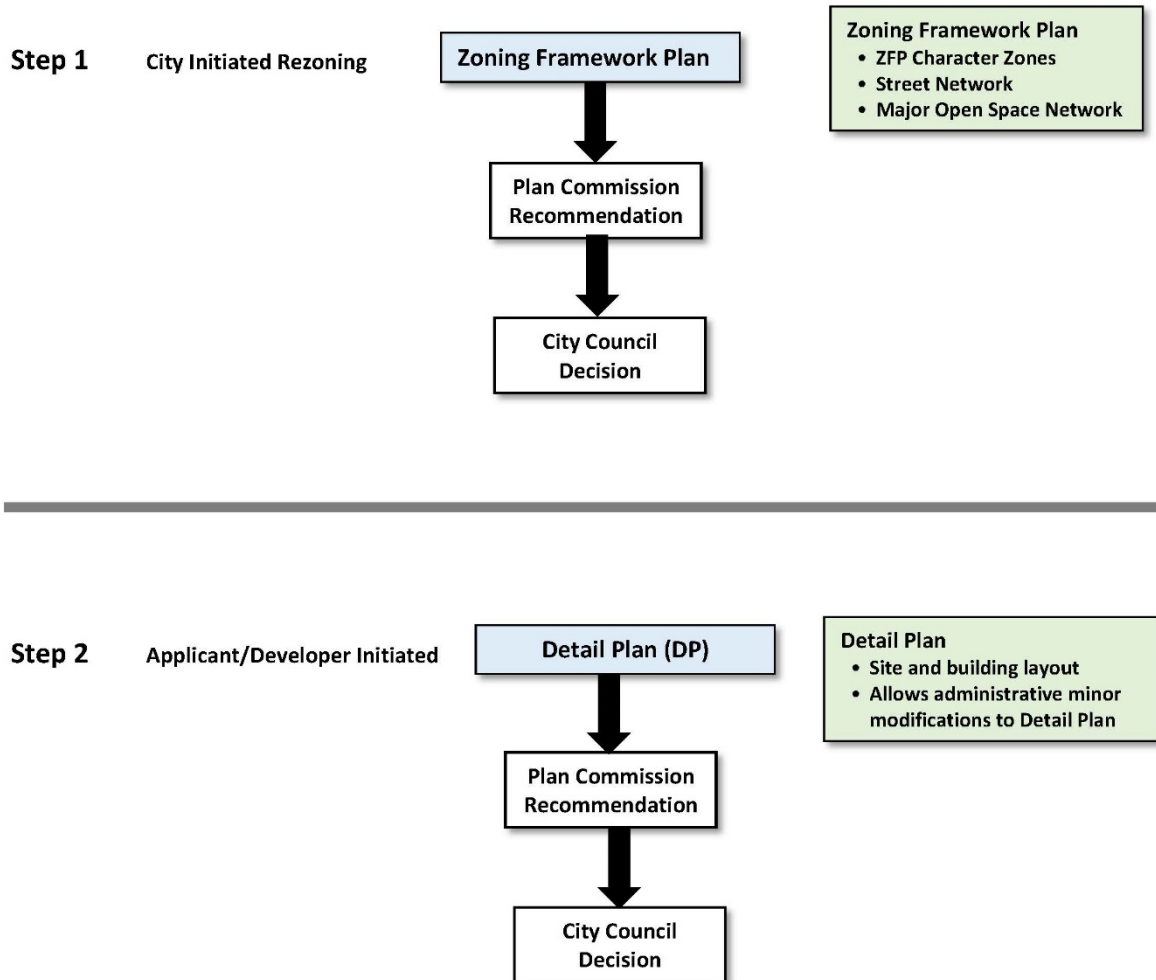
Zoning Framework Plan

Shall be the Zoning Map for the SH 190 MUC-PD which shall establish the boundaries of the different character zones, major roadway network, and open space locations.





SH 190 FBC Structure and Review Process



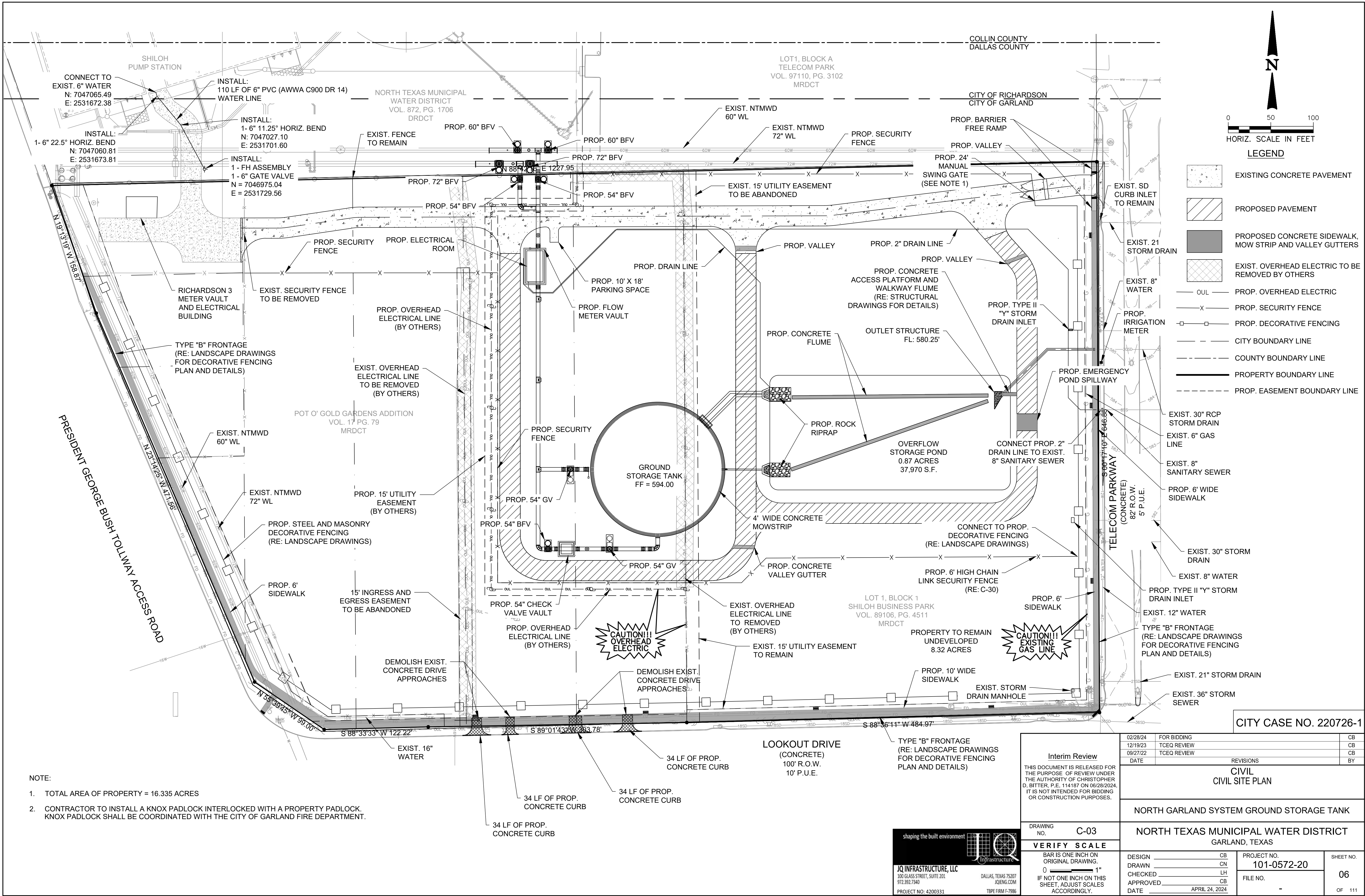
Appendix D

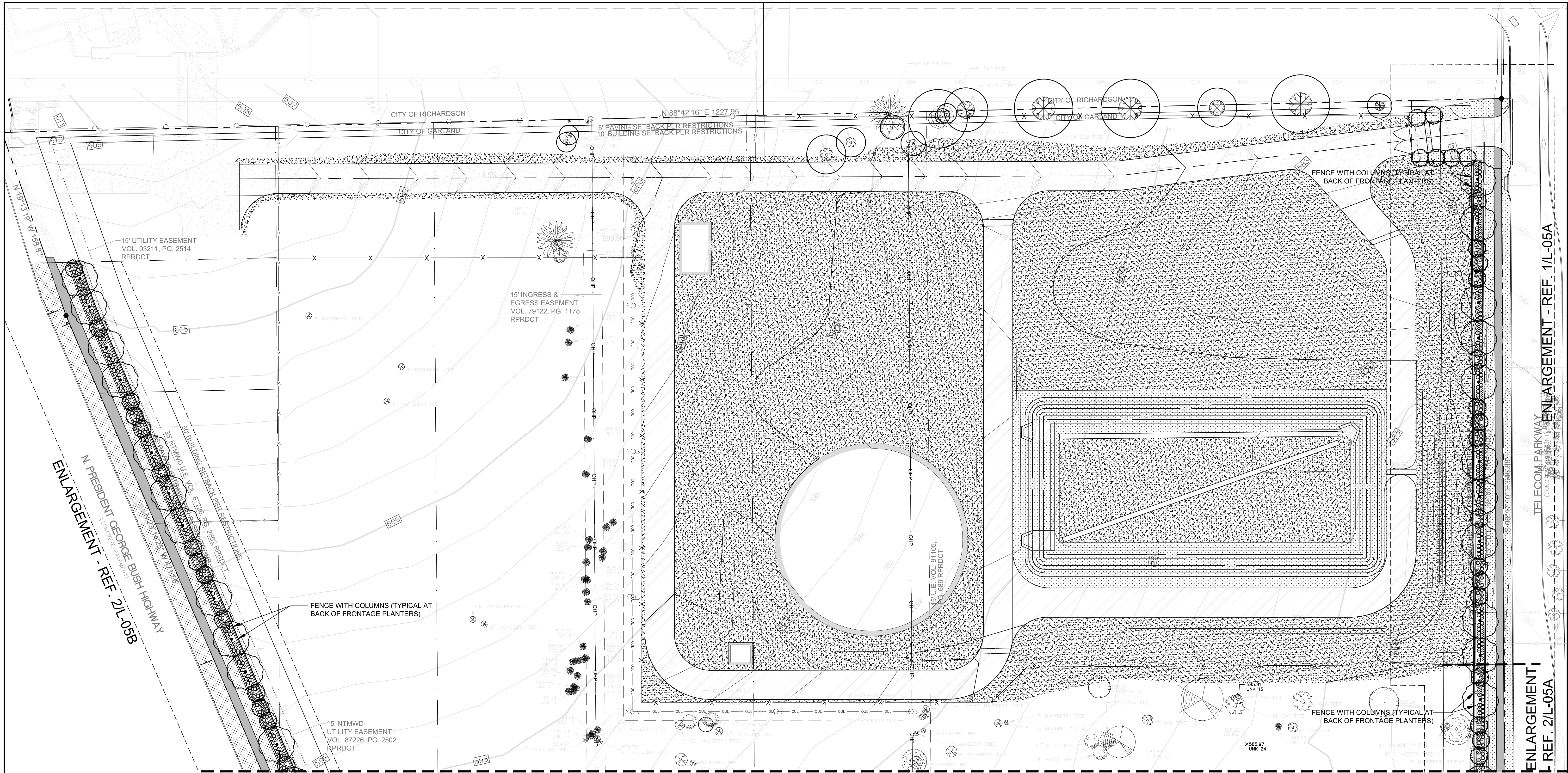
Street Design Standards and Typical Cross Sections

190 Campbell Road - Mixed Use Center

Street Type	Residential Alley (20' ROW)	Commercial Alley (20'-35' ROW)		Residential Street (50'-60' ROW)		Commercial Street (35'-70' ROW)					Avenue (50'-80' ROW)					Boulevard (70'-110' ROW)					Parkway (100'- 110' ROW)			
Number of Lanes	1	1	2	2	2	2	2	2	2	2	2-3	2-3	2-3	2-3	2-3	4	4	4	4	4	4-6	4-6	4-6	4-6
Lane Width (ft.)	10	12	12	13	18	13	13	13	13	13	12	12	12	12	12	12	12	12	12	12	11	11	11	11
Two Way (ft.)	-	-	24	26	36	26	26	26	26	26	36	36	36	36	36	48	48	48	48	48	66	66	66	66
Median (Y/N)	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y
Width (Ft.)																14	14	14	14	14	14	14	14	14
On Street Parking?	N	N	N	N	N	N	N	Y	Y	Y	N	N	Y	Y	Y	N	N	Y	Y	N	N	N	N	N
Parallel (8'x22') (ft.)								16					16					16						
Angled (19') (ft.)									36					36					36					
Head-In (18') (ft.)										36					36									
Parkway (from face of curb to ROW) each side	5	4	5.5	12	12	4.5	4	4	4	4	7	4	4	4	4	4	6	6	6	9	10	10	10	10
On Street Bike Lanes #	N	N	N	N	N	N	Y	N	N	N	N	Y	N	N	N	N	Y	N	N	N	N	N	N	N
Width (Ft.) (Total ROW Req'd)							16					16					16							
ROW (ft.) (minimum)	20	20	35	50	60	35	50	50	70	70	50	60	60	80	80	70	90	90	110	80	100	100	100	100
Design Speed	<20mph (10mph)	<20mph (10mph)	<20mph (10mph)	20 mph	20 mph	25 mph	25 mph	25 mph	25 mph	25 mph	30-35 mph	30-35 mph	30-35 mph	30-35 mph	30-35 mph	35-40 mph	35-40 mph	35-40 mph	35-40 mph	35-40 mph	40-45 mph	40-45 mph	40-45 mph	40-45 mph
Right Turn Lane? *	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	Y	Y	Y	Y	Y	Y	Y	Y	Y
Width (Ft.)																10	10	10	10	10	10	10	10	10
ROW (ft.) with right turn lane *																80	100	100	120	90	110	110	110	110
Landscape/Furnishing Zone (ft.)	3-5	5	5																					
Sidewalk (ft.) (minimum)	-	-	-	4	4	8-12	8-12	8-12	8-12	8-12	6	6	6	6	6	6	6	6	6	6	6	6	6	6

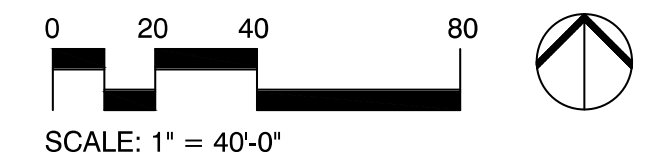
*Fire Lane Exception
Bicycle facility widths may be modified based on the City’s adopted Master Thoroughfare Plan standards and adopted design standards.





1 LANDSCAPE PLANTING PLAN
1" = 40'-0"

LEGEND	
TREES	NAME
	STREET TREE 3" CALIPER SHADE TREE CEDAR ELM
	ORNAMENTAL TREE 1.5" CALIPER MULTI-TRUNK TREE - VITEX (CHASTE TREE)
	ORNAMENTAL TREE 1.5" CALIPER MULTI-TRUNK TREE - EVE'S NECKLACE
ITEM	NAME
	BERMUDAGRASS SOLID SOD (PERMANENT IRRIGATION)
	BERMUDAGRASS SOLID SOD PATCH TO HOLD DISTURBED SOILS (TEMPORARY IRRIGATION)
	BERMUDAGRASS SEED MIX GRASS ALL DISTURBED AREAS (TEMPORARY IRRIGATION)
	'ROSE CREEK' ABELIA
	MORNING LIGHT' MISCANTHUS



CCA Landscape Architects Inc.
1701 Whispering Pines Ln
Gunter, TX 75058
P: 214-739-9105

CCA LANDSCAPE ARCHITECTS

shaping the built environment

JQ INFRASTRUCTURE, LLC
100 GLASS STREET, SUITE 201
972.392.7340

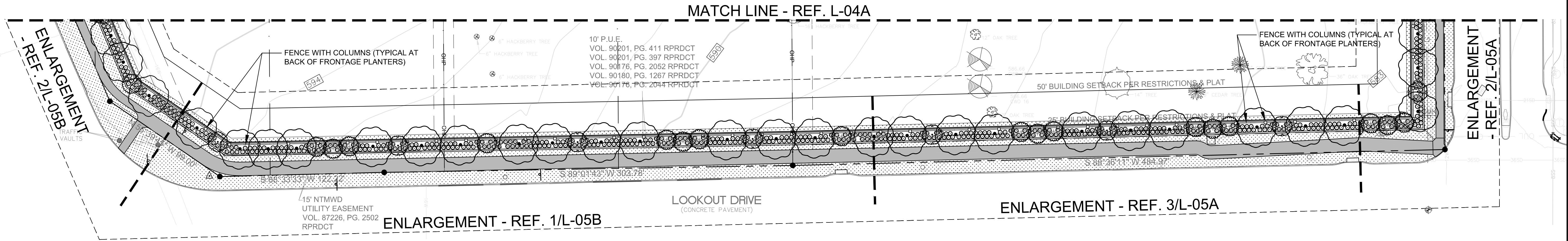
DALLAS, TEXAS 75207
JQIENG.COM
TBP# FIRM 6-7986

REGISTERED LANDSCAPE ARCHITECT
CLARK STARLING
STATE OF TEXAS
3165
2/28/2024

DRAWING NO. L-04A

VERIFY SCALE
BAR IS ONE INCH ON ORIGINAL DRAWING.
0 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

FOR BIDDING		
DATE	REVISIONS	BY
	LANDSCAPE PLANTING PLAN AND REQUIRED LANDSCAPE	
	NORTH GARLAND SYSTEM GROUND STORAGE TANKS	
	NORTH TEXAS MUNICIPAL WATER DISTRICT GARLAND, TEXAS	
DESIGN	LW	PROJECT NO. 101-0572-20
DRAWN	LW	SHEET NO.
CHECKED	JCS	FILE NO.
APPROVED	JCS	OF XX
DATE	FEBRUARY 28, 2024	



LANDSCAPE PLANTING PLAN

1" = 40'-0"

LANDSCAPE PLANTING NOTES

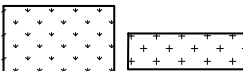
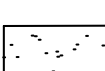
- FINAL GRADING SHALL BE INSTALLED BY THE CONTRACTOR AND APPROVED BY THE OWNER'S REPRESENTATIVE IN THE FIELD PRIOR TO PLANTING OR PLANTING LAYOUT.
- TREES ARE TO BE CENTERED IN EACH TREE PLANTER. CONTRACTOR SHALL STAKE OUT ALL TREE LOCATIONS FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO ADJUST TREES TO EXACT LOCATION IN FIELD.
- UNLESS DIMENSIONED ON THE PLAN, ALL PROPOSED TREE LOCATIONS ARE DIAGRAMMATIC. CONTRACTOR SHALL STAKE OUT ALL INFORMAL TREES LOCATIONS IN THE FIELD USING COLORED FLAGS FOR REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO EXCAVATION. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN THE FIELD.
- SHRUB/PLANT BED LAYOUTS SHALL BE STAKED FOR APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO BE PREPARATION. ALIGN AND EQUALLY SPACE IN ALL DIRECTIONS ALL SHRUBS AS NOTED IN THE DRAWINGS TO PROVIDE FULL BEDS. ALIGNMENT SHALL BE ORIENTED FOR STAGGERED PLACEMENT TO PRIMARY VIEWING DIRECTION.
- FINISH GRADE OF SHRUB BEDS SHALL BE THREE AND ONE HALF (3 1/2 ") INCHES BELOW ADJACENT PAVEMENT OR CURB WHERE TOPDRESSING IS TO BE APPLIED.
- UNLESS OTHERWISE INDICATED, ALL SHRUB BEDS SHALL BE TOPDRESSED WITH A WEED BARRIER LAYER (1 ITEM) CONSISTING OF 8 LAYERS OF RECYCLED NEWSPRINT PAPER COVERED WITH THREE (3") INCH COMPACTED MULCH LAYER. CONTRACTOR SHALL PROVIDE SAMPLES OF MULCH TO THE OWNER'S REPRESENTATIVE ALONG WITH SPECIFIC TEST DATA PER THE REQUIREMENTS OF THE SPECIFICATIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE OWNER'S REPRESENTATIVE OF ANY CONDITION FOUND ON THE SITE WHICH PROHIBITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION, AND MUST BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY, CHARACTER, AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- CONTRACTOR SHALL MEET OR EXCEED ALL MINIMUM SIZES LISTED IN PLANT SCHEDULE INCLUDING CONTAINER SIZE.
- LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING, REMOVAL OF MISCELLANEOUS DEBRIS AND ANY ADDITIONAL FILL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING IN ALL PLANTER LEAVE-OUTS.
- EXCESS SOIL FROM LANDSCAPE GRADING TO BE REMOVED AND DISPOSED OFF-SITE BY CONTRACTOR.
- FINISH GRADES OF TOP OF TREES UNCOVERED ROOT FLARE SHALL BE TWO (2") ABOVE THE FINISHED GRADE OF THE PLANTING BED OR TURF AREA. MULCH SHALL BE APPLIED PER THE PLANTING DETAILS.
- CONTRACTOR SHALL PATCH ALL AREAS OF DISTURBED LAWN OR GRADED SOILS WITH HYDROSEEDING COMMON BERMUDA GRASS - REF. PLANS. GRADE SHALL BE FLUSH TO EXISTING TURF AREAS.
- REPLACE DEAD PLANTS WITHIN SEVEN (7) DAYS AFTER DETERMINATION OF CONDITION.
- NO LANDSCAPE SUCH AS TREES, HEDGES, ABOVE AND UNDERGROUND STRUCTURES SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHT OF WAY WITHOUT CITY'S REAL PROPERTY IMPROVEMENT AUTHORIZATION FORM OR CITY'S LICENSE AGREEMENT.
- PUBLIC RIGHT OF WAY, EASEMENTS AND COMMON AREAS MUST BE STABILIZED WITH PERENNIAL VEGETATION COVER, FULLY ESTABLISHED WITH 100% COVERAGE, OR OTHER APPROVED STABILIZATION METHOD.

TREE REQUIREMENTS

- ROOT SYSTEM DEVELOPMENT:**
- ALL NAMED CULTIVARS WILL BE OWN ROOT CLONES. NO GRAFTER OR BUD-GRAFTED TREES WILL BE ACCEPTED.
 - 100% MECHANICALLY ROOT-PRUNED AT LEAST ONCE AND TRANSPLANTED A MINIMUM OF 3 TIMES DURING THE FIRST 3 YEARS OF THE TREE'S LIFE.
 - THE TREES WILL HAVE BEEN GROWN IN HEAVY CLAY SOIL AND IRRIGATED WITH DRIP IRRIGATION.
 - THE TRUNK FLARE MUST BE ABOVE GROUND AND VISIBLE AT NURSERY BEFORE HARVEST AND AFTER TRANSPLANTING INTO THE LANDSCAPE.
 - THE ROOT BALLS WILL HAVE BEEN HEELED IN FOR AT LEAST 30 DAYS AND HAVE A FLESH FLUSH OF NEW ROOT GROWTH INTO THE BURLAP.
 - NO GIRDLING ROOTS.

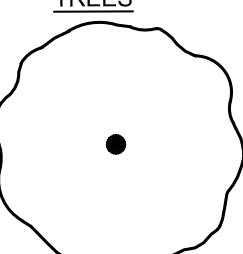
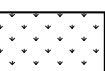
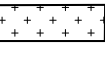
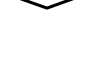
- CANOPY DEVELOPMENT:**
- TREES WILL HAVE A STRONG CENTRAL LEADER TO TOP OF THE CANOPY. THE TIP OF THE LEADER ON THE MAIN TRUNK MUST BE INTACT AND TERMINAL BUD AT THE HIGHEST PART.
 - NO BRANCH CAN HAVE A DIAMETER GREATER THAN 2/3 THE TRUNK DIAMETER MEASURED DIRECTLY ABOVE THE BRANCH CROTCH. THE TREE WILL HAVE NO INCLUSIONS OR CO-DOMINANT BRANCHES.
 - THE TREE CROWN MUST BE STRUCTURALLY UNIFORM. BRANCHES WILL BE EVENLY DISTRIBUTED AROUND THE TRUNK. THE CROWN WILL BE FULL OF FOLIAGE EVENLY DISTRIBUTED AROUND THE TREE.

PLANT AND MATERIAL SCHEDULE

TREES	COMMON NAME / BOTANICAL NAME	CONT	CAL	SIZE	REMARKS	QTY
	STREET TREE - LARGE SHADE TREE (Code Req) CEDAR ELM / ULMUS CRASSIFOLIA	CONT.	3" - 3.25" CAL. MIN.	14'-14" H X 5'-6" W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT SINGLE STRAIGHT LEADER, BRANCHED AT 6' HT.	53
	ORNAMENTAL TREE (Code Req - 3 for 1 canopy) EVE'S NECKLACE / SOPHORA AFFINIS	CONT.	1.5" - 1.75" CAL. MIN.	14'-14" H X 5'-6" W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT MULTI-TRUNKED - 3, TREE FORM	16
	ORNAMENTAL TREE (Code Req - 3 for 1 canopy) VITEX (CHASTE TREE) / VITEX AGNUS-CASTUS	CONT.	1.5" - 1.75" CAL. MIN.	8'-10" H X 4'-5" W MIN.	FULL, WELL BRANCHED, VERTICAL GROWTH HABIT MULTI-TRUNKED - 3, TREE FORM	46
GROUND COVER	COMMON NAME / BOTANICAL NAME	CONT	REMARKS			QTY
	BERMUDA GRASS / CYNODON DACTYLON 'TIFFWAY 419'	SOD	TURF: SOLID SOD, REF. SPEC. SECT. 32 92 00; FRONTAGE, PATCH BEHIND FENCE, TANK SLOPES			70,075 SF
	BERMUDA GRASS / CYNODON DACTYLON	SEED	TURF: HYDROMULCH / BONDED FIBER MATRIX, REF. SPEC. SECT. 32 92 00			199,616 SF
	'MORNING LIGHT' MISCANTHUS / MISCANTHUS SINENSIS 'MORNING LIGHT'	5 GAL.	ORNAMENTAL GRASS: SPACING 42" O.C. OR 0.094 PLANTS PER SF			460
	'ROSE CREEK' ABELIA / ABELIA GRANDIFLORA 'ROSE CREEK'	5 GAL	SCREENING SHRUBS: 24" HT. X 24" SPR., SPACING 36" O.C. OR 0.18 PLANTS PER SF			563
MATERIALS	ITEM	DEPTH	REMARKS			QTY
PLANTING BEDS FOR SHRUBS AND GROUNDCOVER: NOTE - FIELD VERIFY ALL QUANTITIES, ALL BEDS TO BE FULL, REFER TO DETAILS AND SPECS						
	MANUFACTURED TOPSOIL	2" DEPTH	MANUFACTURED TOPSOIL, REF. SPEC. SECT. 32 92 00 AND 32 93 00			114 CY
	MULCH - TOPDRESSING PLANTING BEDS	3" DEPTH	RUSTIC CUT HARDWOOD OR APPROVED EQUIVALENT, COMPACTED DEPTH, REF. SPEC. SECT. 32 93 00			178 CY
	COMPOST - PLANTING BEDS	3" DEPTH	ORGANIC, WELL-DECOMPOSED, REF. SPEC. SECT. 32 93 00			185 CY
	WEED BARRIER - NEWSPRINT PLANTING BEDS	8 LAYERS	1 ITEM CONSISTING OF 8 LAYERS OF NEWSPRINT AT PLANTING BEDS, REF. DETAILS AND SPEC. SECT. 32 93 00			16,027 SF X 8
	EXPANDED SHALE - PLANTING BEDS	3" DEPTH	PLANTING BEDS, SUPPLIED BY SOIL BUILDING SYSTEMS OR APPROVED EQUAL, REF. SPEC. SECT. 32 93 00			185 CY
	ORGANIC BIOLOGICAL FERTILIZER		REF. SPEC. SECT. 32 92 00 FOR MATERIAL AND 32 93 00 FOR APPLICATION RATE			VERIFY
	LANDSCAPE CONCRETE MOW STRIP		12" WIDE X 6" DEEP, 35000 PSI, 2 #3 CONT. WITH #3 STIRRUPS AT 18" O.C., MED. BROOM FINISH, 5' O.C. CONTROL JTS., REF. DETAILS			4,125 LF
LAWN / TURF GRASS: NOTE - FIELD VERIFY ALL QUANTITIES, ALL DISTURBED AREAS TO BE GRASSED, REFER TO DETAILS AND SPECS SD						
	TOPSOIL - LAWN / TURF GRASS	1 1/2" DEPTH	EXISTING OR MANUFACTURED, REF. SPEC. SECT. 32 92 00			FIELD VERIFY
	COMPOST - LAWN / TURF GRASS	1/2" DEPTH	ORGANIC, WELL-DECOMPOSED, REF. SPECS SUPPLIED BY SOIL BUILDING SYSTEMS OR APPROVED EQUAL, REF. SPEC. SECT. 32 92 00			FIELD VERIFY
	ORGANIC BIOLOGICAL FERTILIZER - LAWN		REF. SPEC. SECT. 32 92 00 FOR MATERIAL AND APPLICATION RATE			FIELD VERIFY

NOTE - QUANTITIES ARE APPROXIMATE, FIELD VERIFY FOR ACCURACY. ALL PLANTING BEDS TO BE FULL AND PREPARED PER SPECIFICATIONS. ALL DISTURBED AREAS TO BE GRASSED AND SOIL PREPARED PER SPECIFICATIONS.
NOTE - PLANT OR MATERIAL SUBSTITUTIONS MUST BE SUBMITTED FOR APPROVAL PRIOR TO INSTALLATION.
NOTE - SUBMITTALS TO BE PROVIDED TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION.
NOTE - SAMPLES / SUBMITTALS TO BE PROVIDED TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION.

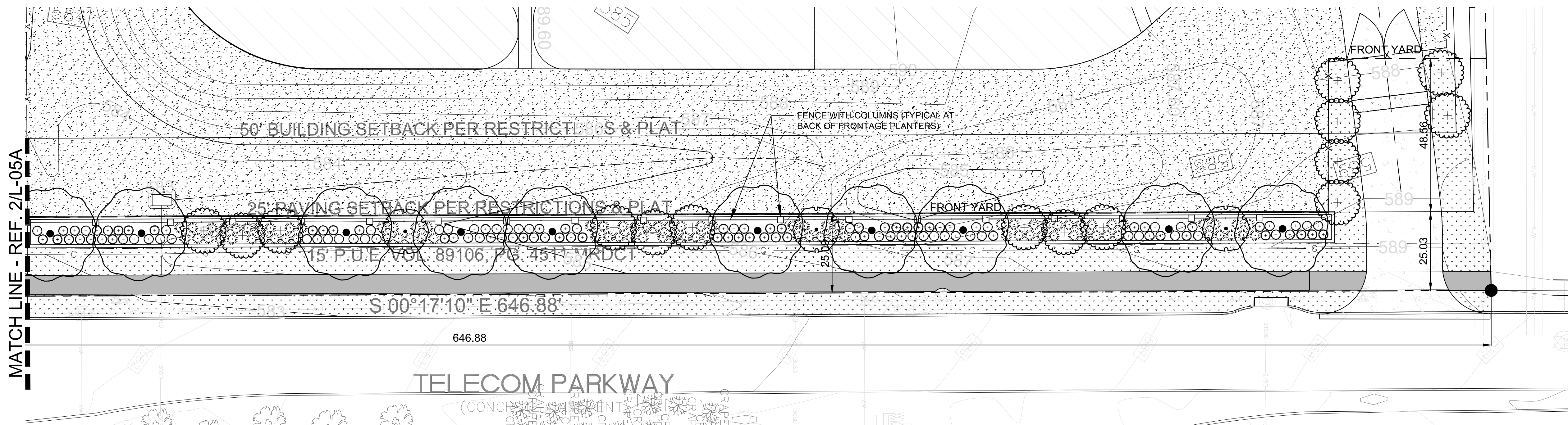
LEGEND

TREES	NAME	ITEM	NAME
	STREET TREE 3" CALIPER SHADE TREE CEDAR ELM		BERMUDAGRASS SOLID SOD (PERMANENT IRRIGATION)
	ORNAMENTAL TREE 1.5" CALIPER MULTI-TRUNK TREE - VITEX (CHASTE TREE)		BERMUDAGRASS SOLID SOD PATCH TO HOLD DISTURBED SOILS (TEMPORARY IRRIGATION)
	ORNAMENTAL TREE 1.5" CALIPER MULTI-TRUNK TREE - EVE'S NECKLACE		BERMUDAGRASS SEED MIX GRASS ALL DISTURBED AREAS (TEMPORARY IRRIGATION)
			'ROSE CREEK' ABELIA
			MORNING LIGHT' MISCANTHUS

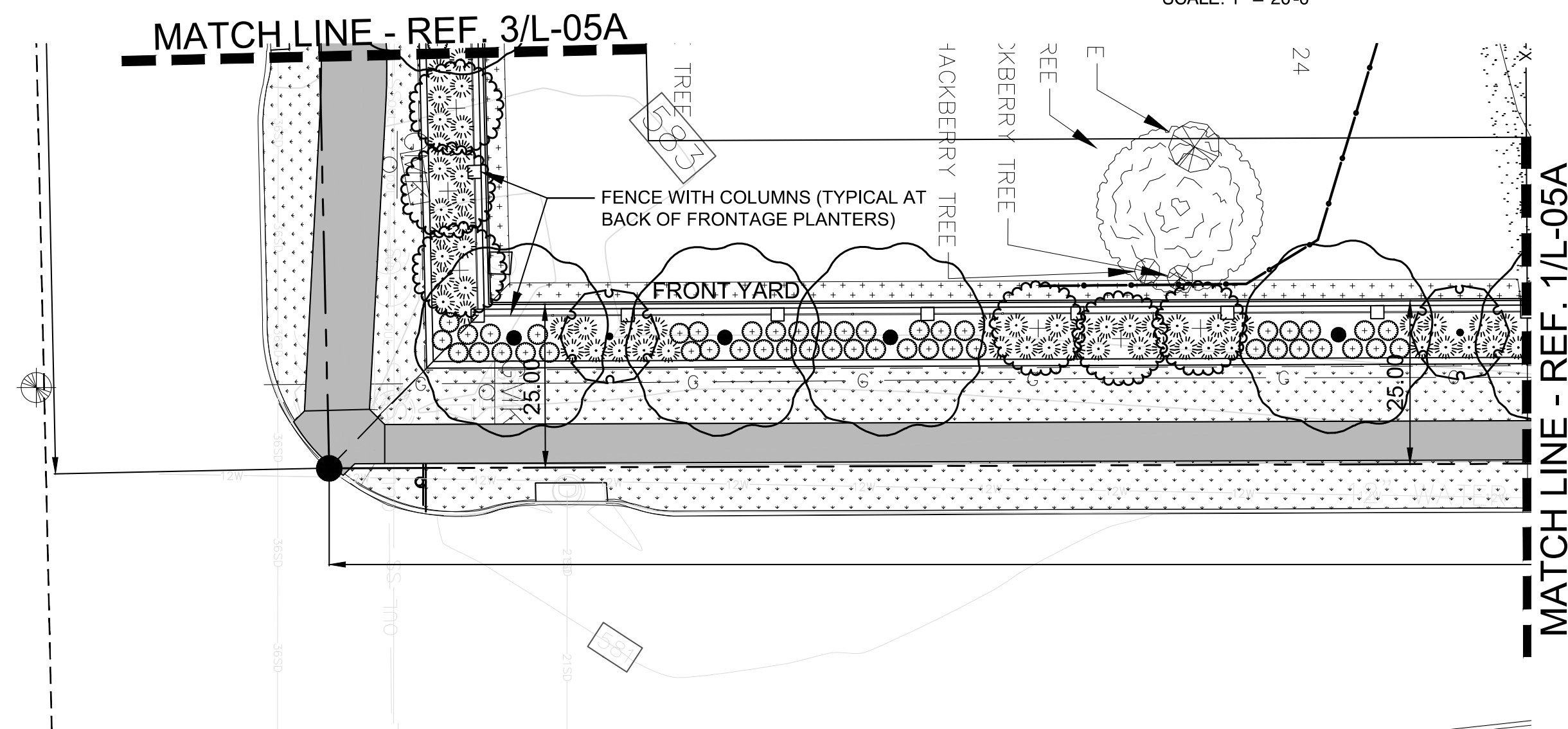
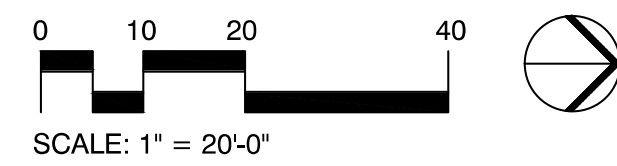


	DRAWING NO.	L-04B	
	VERIFY SCALE	BAR IS ONE INCH ON ORIGINAL DRAWING. 0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.	
	DESIGN	LW	PROJECT NO.
	DRAWN	LW	101-0572-20
CHECKED	JCS	FILE NO.	
APPROVED	JCS		
DATE	FEBRUARY 28, 2024		

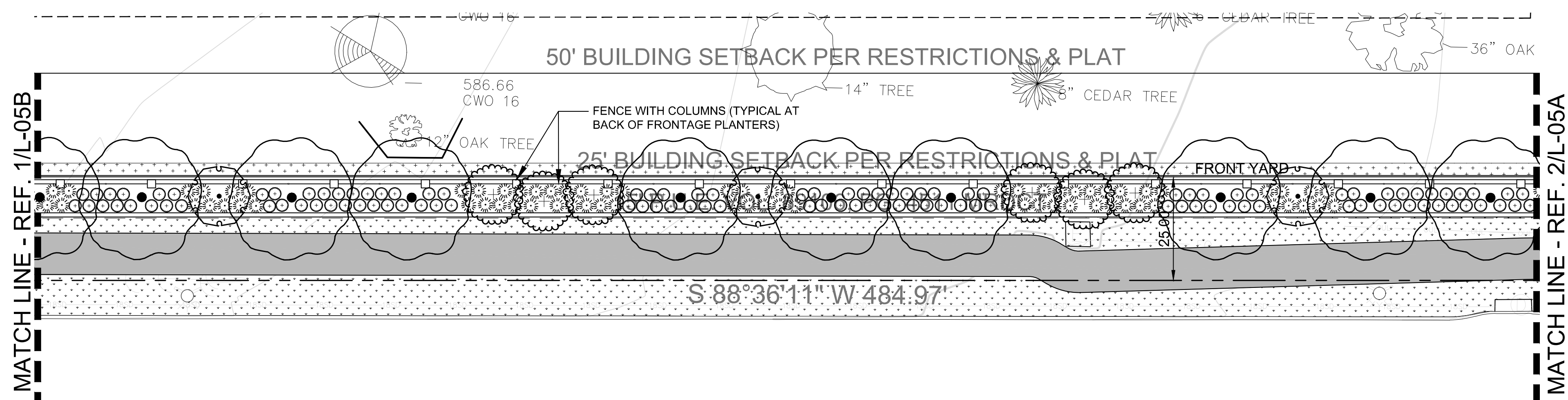
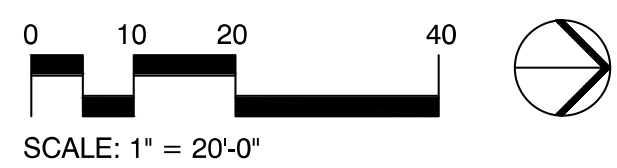
FOR BIDDING	
DATE	REVISIONS
LANDSCAPE PLANTING PLAN AND REQUIRED LANDSCAPE	
NORTH GARLAND SYSTEM GROUND STORAGE TANKS	
NORTH TEXAS MUNICIPAL WATER DISTRICT GARLAND, TEXAS	
SHEET NO.	OF XX



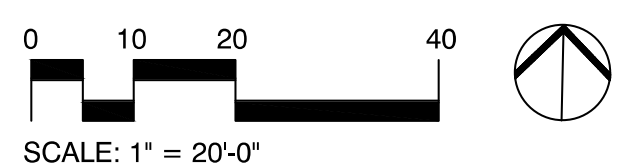
1 LANDSCAPE ENLARGEMENT PLANTING PLAN
1" = 20'-0"



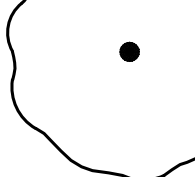
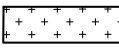
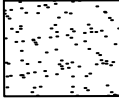
2 LANDSCAPE ENLARGEMENT PLANTING PLAN
1" = 20'-0"



3 LANDSCAPE ENLARGEMENT PLANTING PLAN



LEGEND

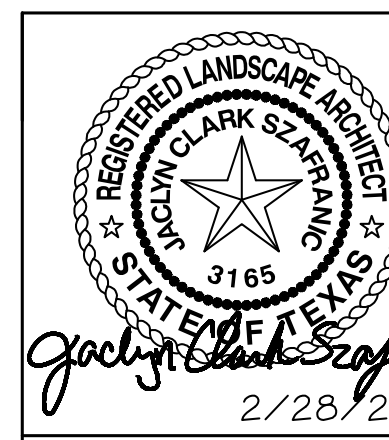
<u>TREES</u>	<u>NAME</u>
	STREET TREE 3" CALIPER SHADE TREE CEDAR ELM
	ORNAMENTAL TREE 1.5" CALIPER MULTI-TRUNK TREE - VITEX (CHASTE TREE)
	ORNAMENTAL TREE 1.5" CALIPER MULTI-TRUNK TREE - EVE'S NECKLACE
	BERMUDAGRASS SOLID SOD (PERMANENT IRRIGATION)
	BERMUDAGRASS SOLID SOD PATCH TO HOLD DISTURBED SOILS (TEMPORARY IRRIGATION)
	BERMUDAGRASS SEED MIX GRASS ALL DISTURBED AREAS (TEMPORARY IRRIGATION)
	'ROSE CREEK' ABELIA
	MORNING LIGHT MISCANTHUS

FOR BIDDING

DATE	REVISIONS		BY
LANDSCAPE ENLARGEMENT PLANS, PLANT SCHEDULE AND NOTES			
NORTH GARLAND SYSTEM GROUND STORAGE TANKS			
NORTH TEXAS MUNICIPAL WATER DISTRICT GARLAND, TEXAS			
DESIGN _____ LW	PROJECT NO. 101-0572-20		SHEET NO.
DRAWN _____ LW			
CHECKED _____ JCS	FILE NO.		
APPROVED _____ JCS			
DATE FEBRUARY 28, 2024			OF XX



CCA Landscape Architects Inc.
1701 Whispering Pines Ln
Gunter, TX 75058
P: 214-739-9105



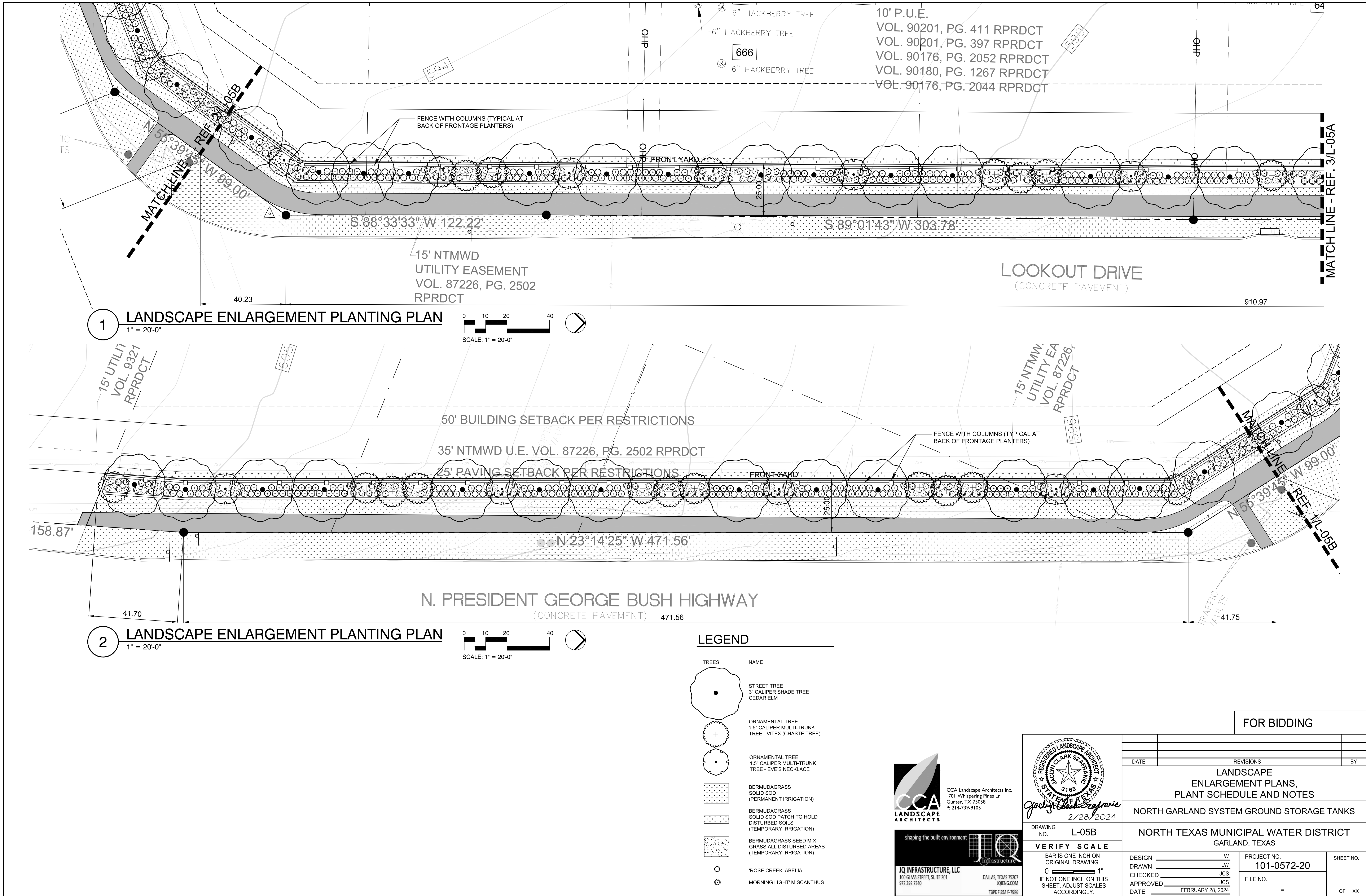
DRAWING NO. **L-05A**

VERIFY SCALE

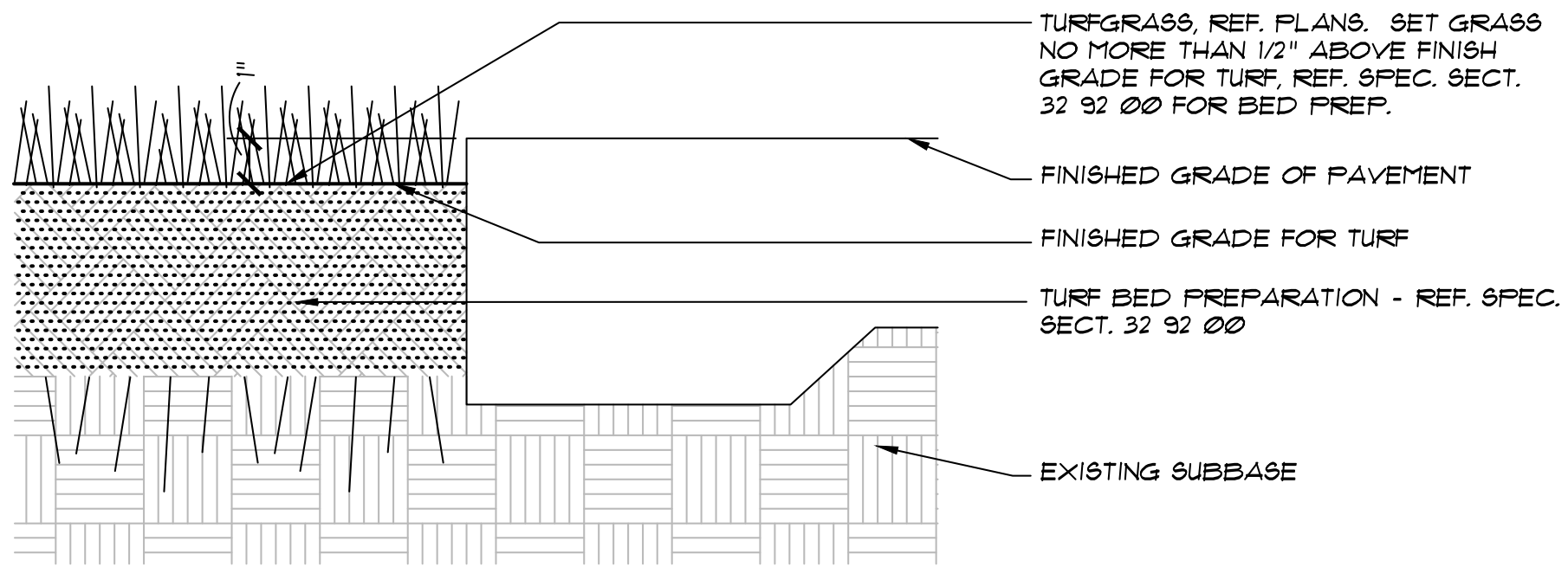
BAR IS ONE INCH ON ORIGINAL DRAWING.

0  1

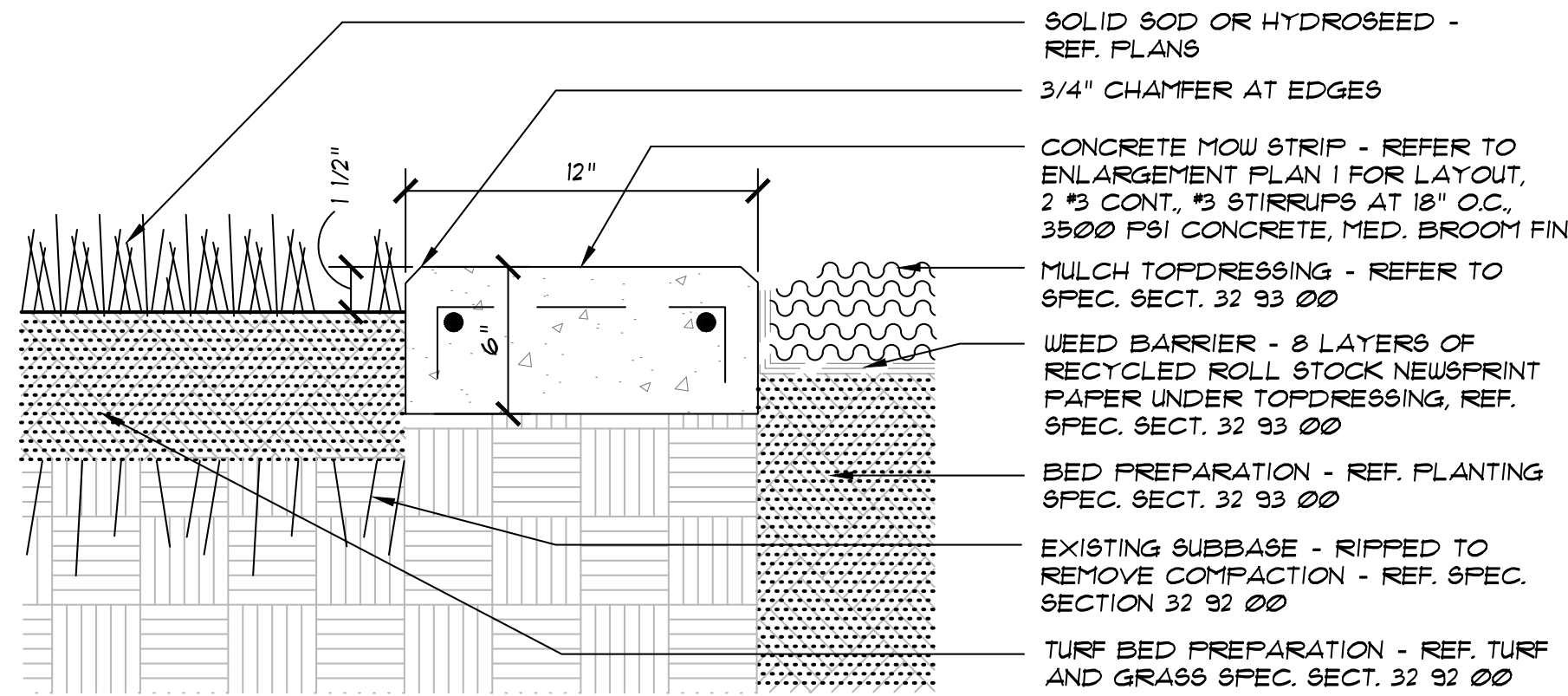
IF NOT ONE INCH ON T
SHEET, ADJUST SCALE
ACCORDINGLY.



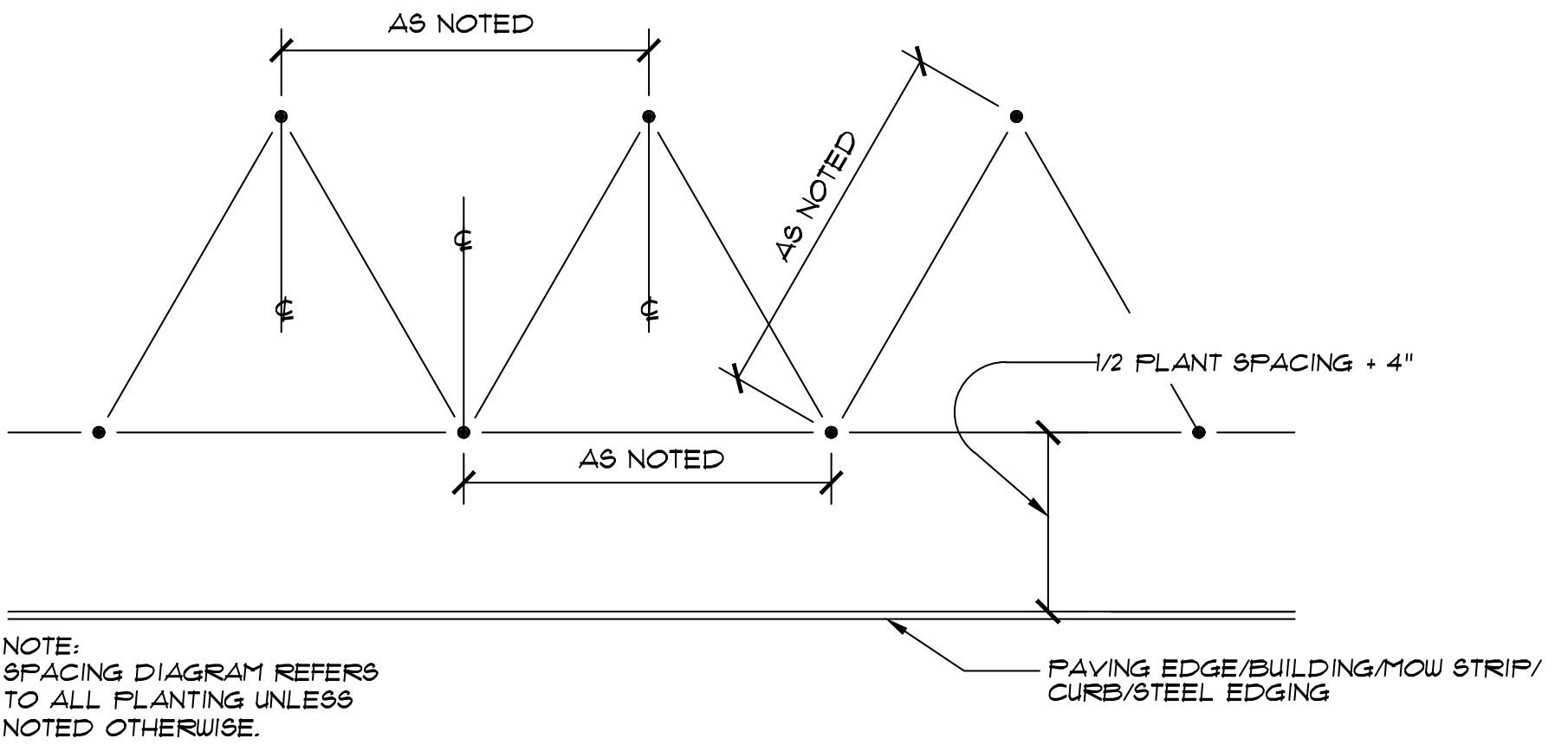
REQUIRED LANDSCAPE PER CITY OF GARLAND - SCREENING AND LANDSCAPE			
TOTAL LANDSCAPE AREA REQUIREMENT	REQUIRED	PROVIDED	Comments
LANDSCAPE MATERIALS MUST COVER A MINIMUM OF 10% OF A TOTAL SITE AREA = 711,553 sf	71,155 sf	266,903 sf	Seeded, Sodded, Shrub/Planter Beds reflected. Balance of undisturbed site supplemental.
LIVING LANDSCAPE COVERAGE REQUIRED BETWEEN BUILDING AND ANY STREET RIGHT OF WAY (plants, groundcover, turf, etc.)	NOT APPLICABLE	x	
LANDSCAPE BUFFERS			
TELECOM PKWY - COLLECTOR TYPE D1 (465 LF)	REQUIRED	PROVIDED	Comments
BUFFER WIDTH / LANDSCAPE SETBACK	15-FT	25-FT	50-FT AT DRIVE ENTRY
LANDSCAPE REQUIREMENT:			6 foot planter strip
1 TREE PER 30 LF (3 ORN. = 1 SHADE TREE)	21.7	21.7	14 canopy, 23 ornamental
7 SHRUBS or ORNAMENTAL GRASSES	151	286	
TURF GRASS MAXIMUM 75% COVERAGE OF BUFFER	18,317 sf X 75% = 13,738 sf Max turf	4,501 sf	6,887 sf shrub bed & balance as drive, sidewalk, mowband and columns
LOOKOUT DRIVE - ARTERIAL TYPE B (952 LF)	REQUIRED	PROVIDED	Comments
BUFFER WIDTH / LANDSCAPE SETBACK	15-FT	25-FT	
LANDSCAPE REQUIREMENT:			6 foot planter strip
1 TREE PER 30 LF (3 ORN. = 1 SHADE TREE)	31.7	32	24 canopy, 24 ornamental
7 SHRUBS or ORNAMENTAL GRASSES	222	464	
TURF GRASS MAXIMUM 75% COVERAGE OF BUFFER	23,514 sf X 75% = 17,636 sf Max turf	5,044 sf	7,260 sf shrub bed & balance as sidewalk, mowband and columns
N. PRES. GEORGE BUSH HIGHWAY (555 LF)	REQUIRED	PROVIDED	Comments
BUFFER WIDTH / LANDSCAPE SETBACK	20-FT	25-FT	
LANDSCAPE REQUIREMENT:			6 foot planter strip
1 TREE PER 30 LF (3 ORN. = 1 SHADE TREE)	19	19	14 canopy, 15 ornamental
7 SHRUBS or ORNAMENTAL GRASSES	130	273	
TURF GRASS MAXIMUM 75% COVERAGE OF BUFFER	13,861 sf X 75% = 10,396 sf Max turf	4,316 sf	4,268 sf shrub bed & balance as sidewalk, mowband and columns
N. PRES. GEORGE BUSH HIGHWAY (Balance of frontage)	REQUIRED	PROVIDED	Comments
BUFFER WIDTH / LANDSCAPE SETBACK	20-FT	25-FT	
LANDSCAPE REQUIREMENT:	NTMWD Project No. 101-0338C-13 (May 2020) - Meter Vault Standardization Set Point Control Implementation Phase III		
1 TREE PER 30 LF (3 ORN. = 1 SHADE TREE)	Provided by project		
7 SHRUBS or ORNAMENTAL GRASSES	Provided by project		
TURF GRASS MAXIMUM 75% COVERAGE OF BUFFER	Provided by project		
PARKING LOT LANDSCAPING AND SCREENING			
LANDSCAPE ISLANDS AND PARKING LOT TREES	REQUIRED	PROVIDED	
PARKING LOT TREES (1 TREE PER 10 PARKING SPACES)	NOT APPLICABLE	-	
PARKING LOT TREES (1 TREE WITHIN 65-FT OF PARKING SPACES)	NOT APPLICABLE	-	
PARKING LOT TREES AT TERMINUS OF EACH PARKING ROW (1 LARGE CANOPY TREE)	NOT APPLICABLE	-	
LIVING LANDSCAPE COVERAGE REQUIRED: 5% MIN. OF PARKING LOT	NOT APPLICABLE	-	
PARKING ISLANDS MIN. 6FT x 18FT	NOT APPLICABLE	-	
UP TO 35% OF LARGE TREES MAY BE SUBSTITUTED FOR ORNAMENTAL TREES AT A RATE OF 3 ORN. TREES TO 1 LARGE TREE	NOT APPLICABLE	-	
PARKING LOT SCREENING	REQUIRED	PROVIDED	
SCREENING OF PARKING WITH EITHER A ROW OF SHRUBS (MIN. 24" HT. AT INSTALLATION) OR BERM	NOT APPLICABLE	-	
SCREENING REQUIREMENTS			
PERIMETER SCREENING BETWEEN NONRESIDENTIAL AND SINGLE FAMILY DEVELOPMENTS REQUIRED	NOT APPLICABLE	-	
GROUND MOUNTED EQUIPMENT MUST BE SCREENED WITH EVERGREEN LIVING SCREEN, BERM, WALL, OR COMBINATION	NOT APPLICABLE	-	



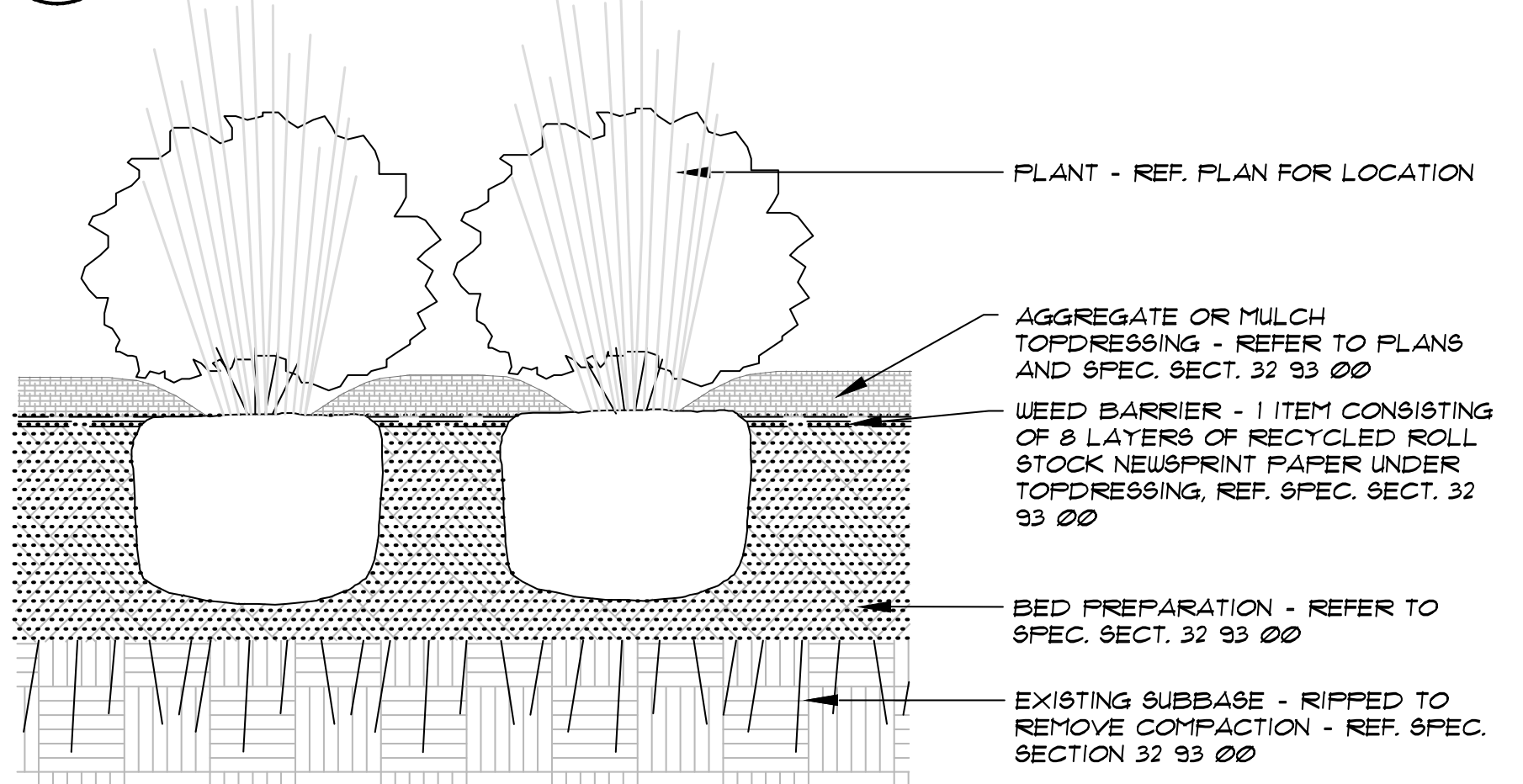
4 LAWN AT PAVEMENT - SECTION
NTS



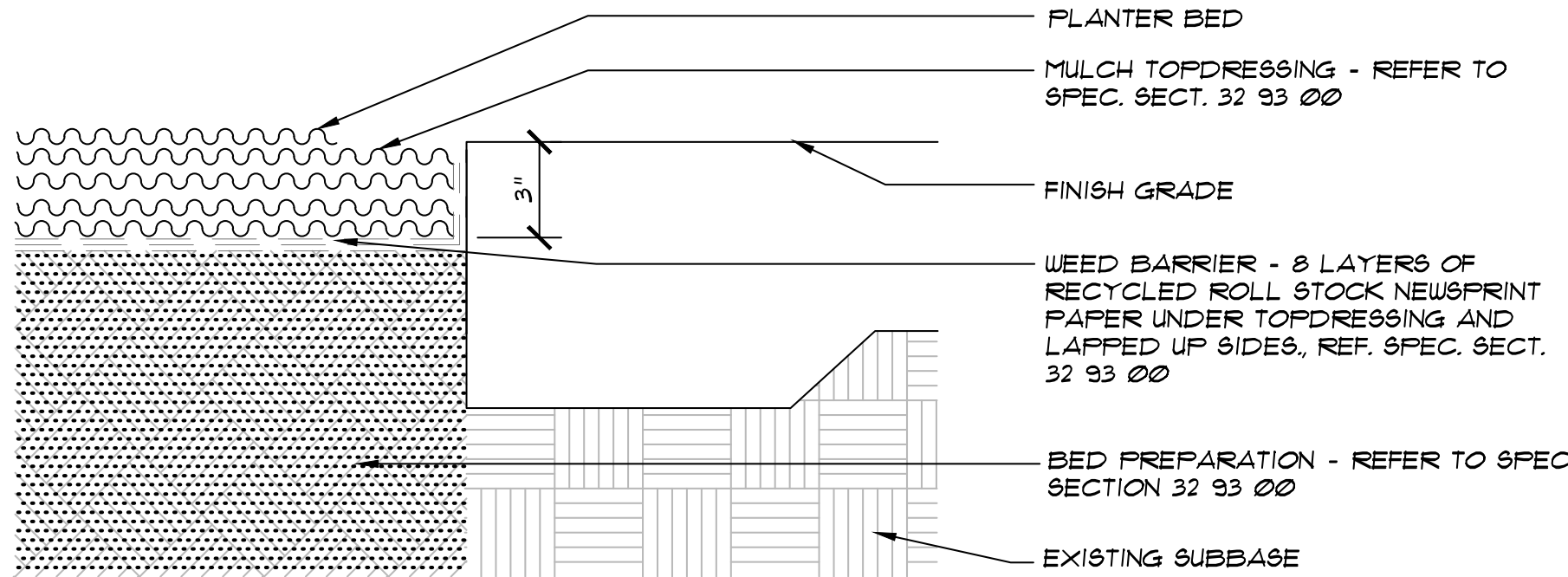
5 TURF AT MOW STRIP AT PLANTER BED - SECT.
NTS



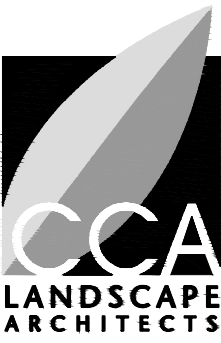
1 TRIANGULAR SPACING - PLAN
NTS



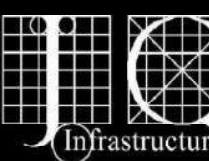
2 SHRUB/HESPERALOE AT BEDS - SECT.
NTS



3 PLANTER BED AT PAVEMENT - SECTION
NTS



CCA Landscape Architects Inc.
1701 Whispering Pines Ln
Gunter, TX 75058
P: 214-739-9105

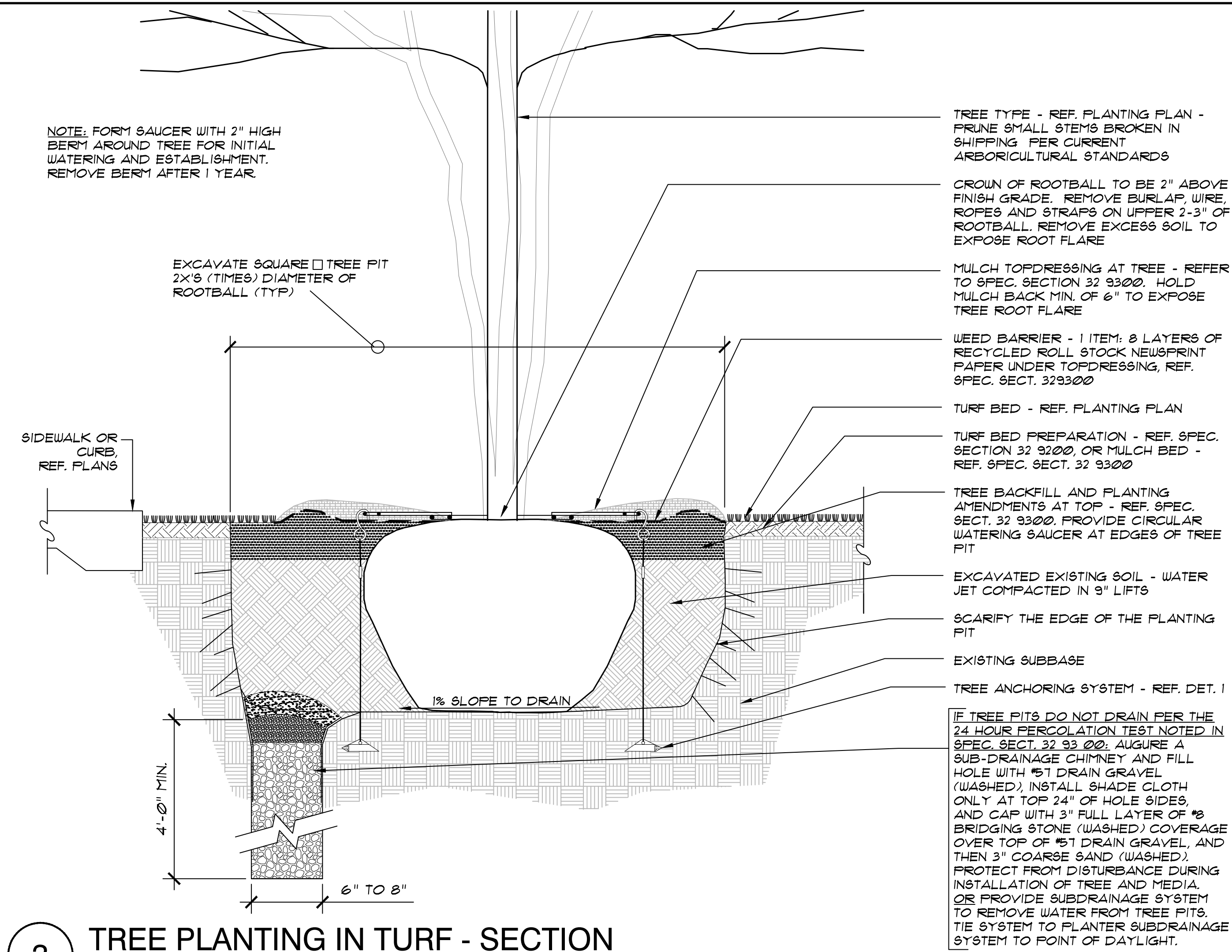


JQ INFRASTRUCTURE, LLC
100 GLASS STREET, SUITE 201
972.392.7340
DALLAS, TEXAS 75207
JQIENG.COM
TYPE FIRM 6-7986



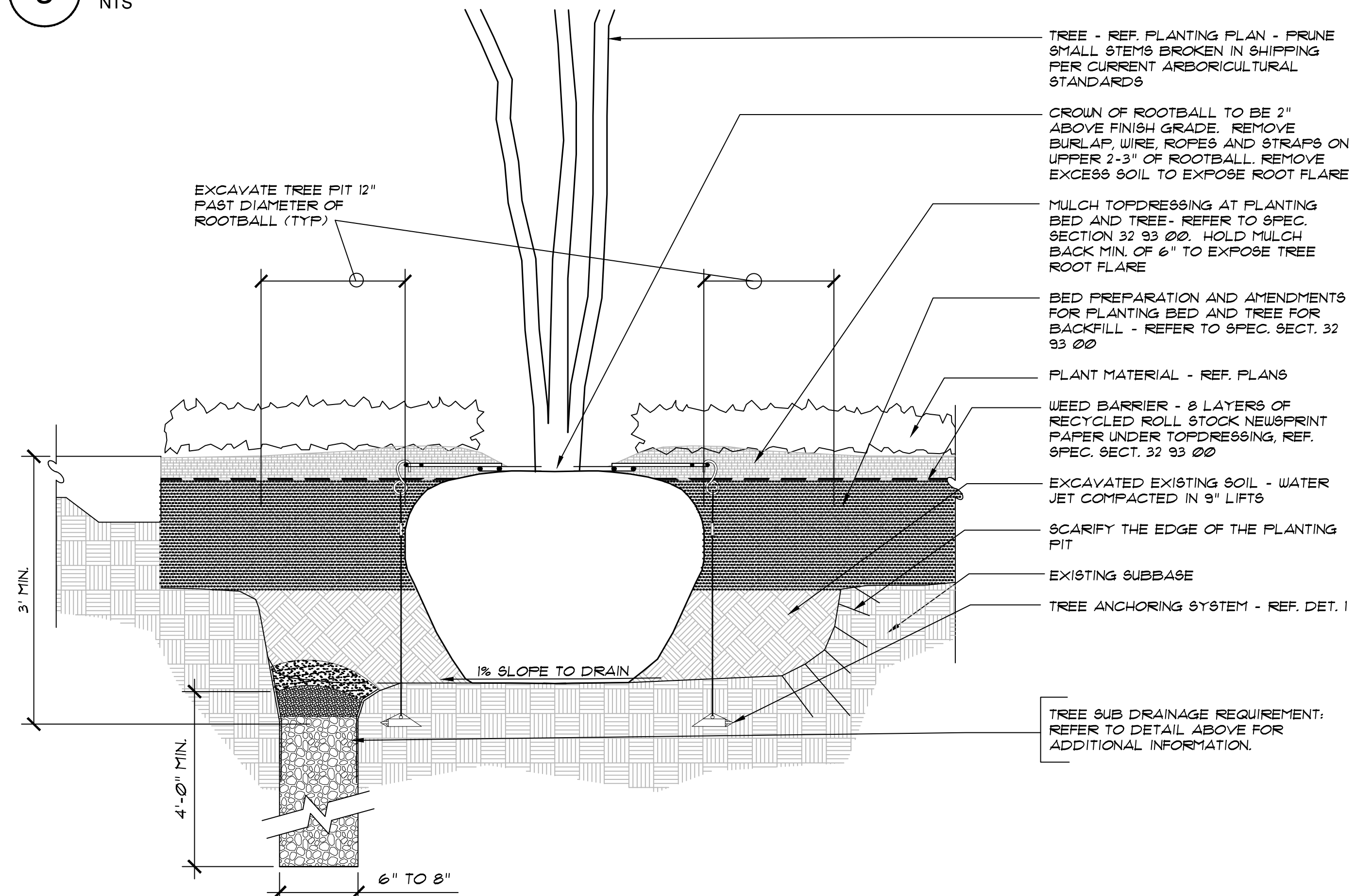
DRAWING NO. L-06
VERIFY SCALE
BAR IS ONE INCH ON ORIGINAL DRAWING.
0 1"
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

DATE		REVISIONS		BY	
LANDSCAPE PLANTING DETAILS AND REQUIRED LANDSCAPE TABLE					
NORTH GARLAND SYSTEM GROUND STORAGE TANKS					
NORTH TEXAS MUNICIPAL WATER DISTRICT GARLAND, TEXAS					
DESIGN	LW	PROJECT NO.	101-0572-20		
DRAWN	LW	FILE NO.	-		
CHECKED	JCS				
APPROVED	JCS				
DATE	FEBRUARY 28, 2024		SHEET NO. OF XX		



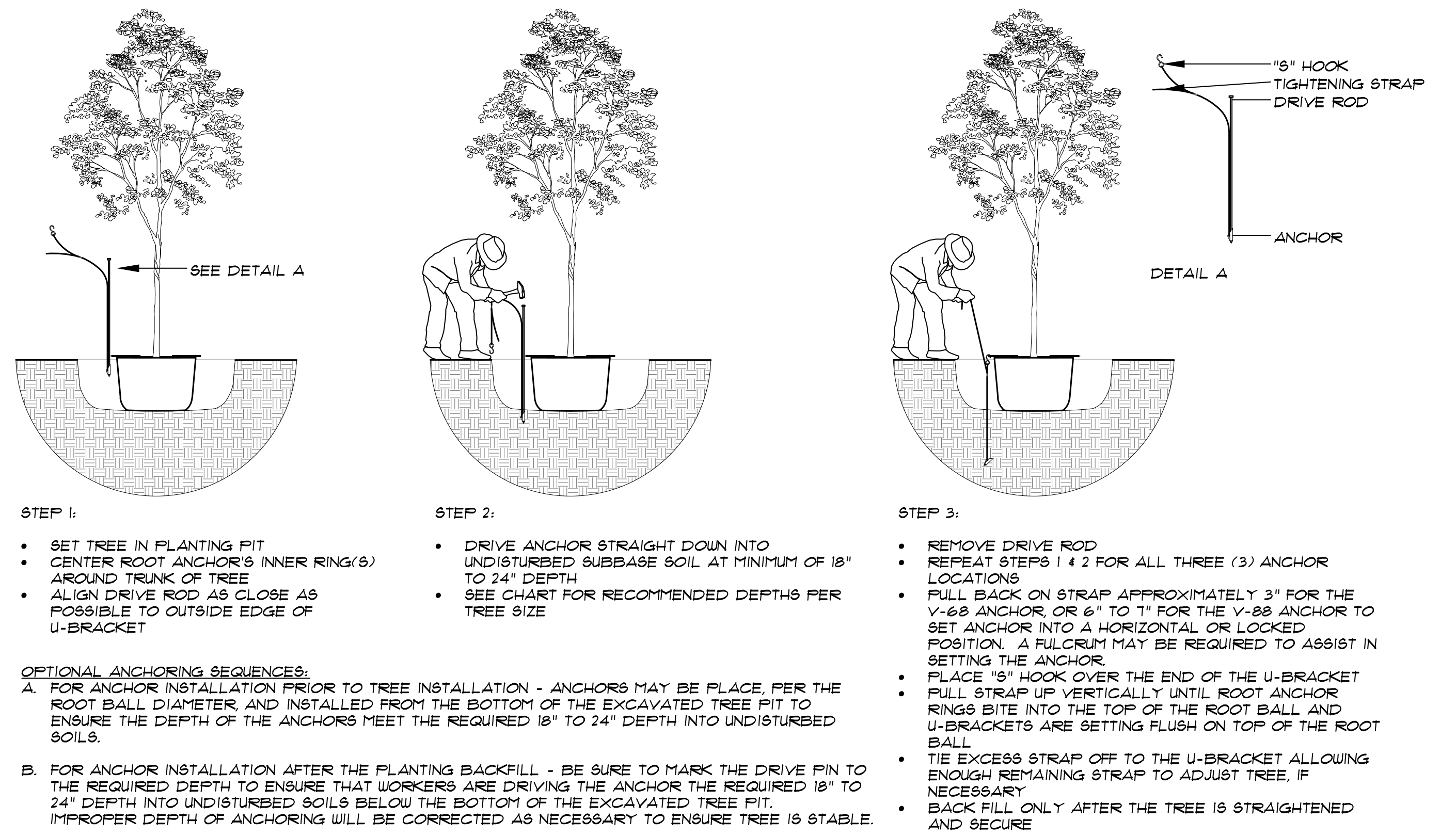
3 TREE PLANTING IN TURF - SECTION

NTS



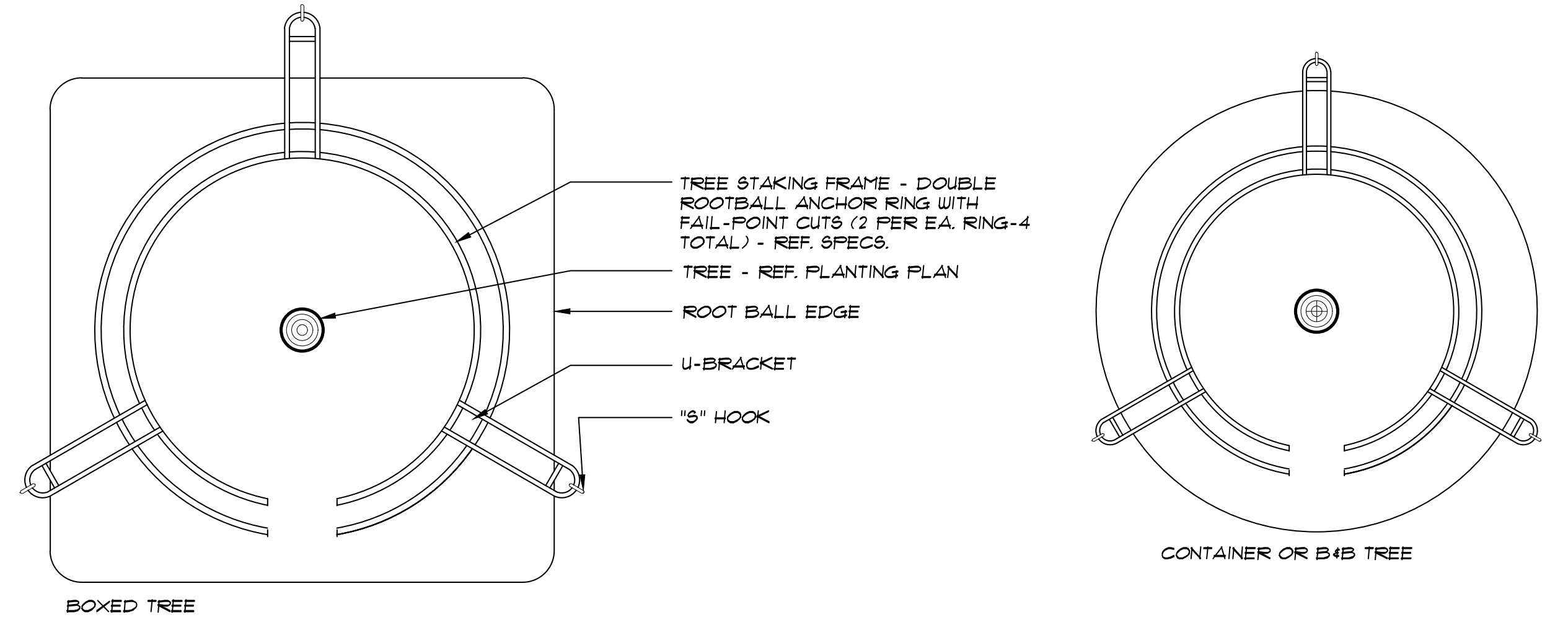
4 MULTI-TRUNK TREE PLANTING/STAKING IN PLANTING BED - SECTION

NTS



1 TREE ANCHORING

NTS



2 TYPICAL TREE GROUND ANCHORNG - PLANS

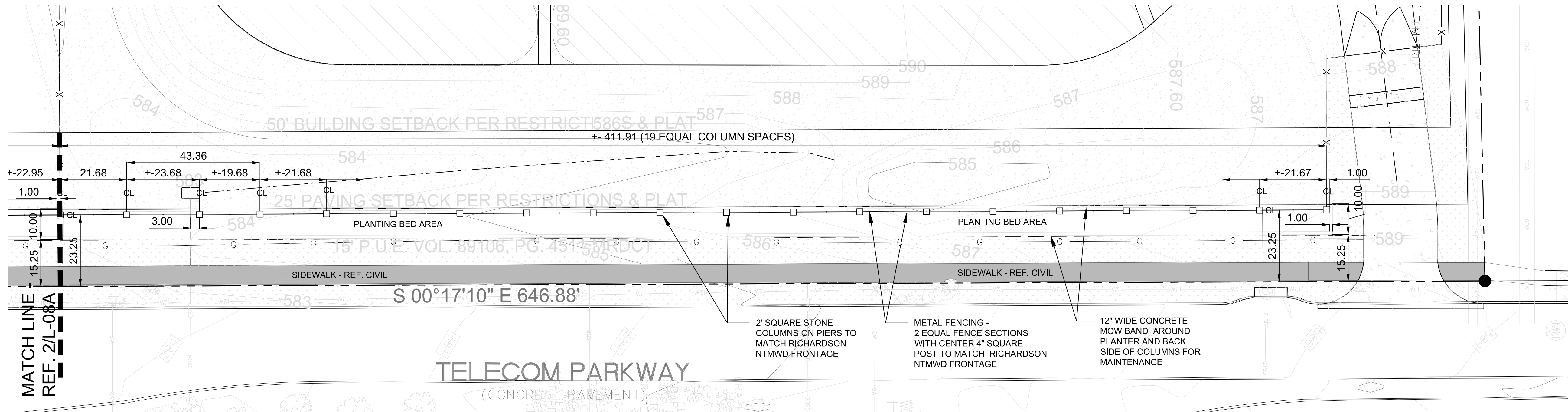
NTS

PREPARE TREE AS PER SPECIFICATION SECTION 32 9300 PRIOR TO SETTING IN EXCAVATED PLANTING PIT:

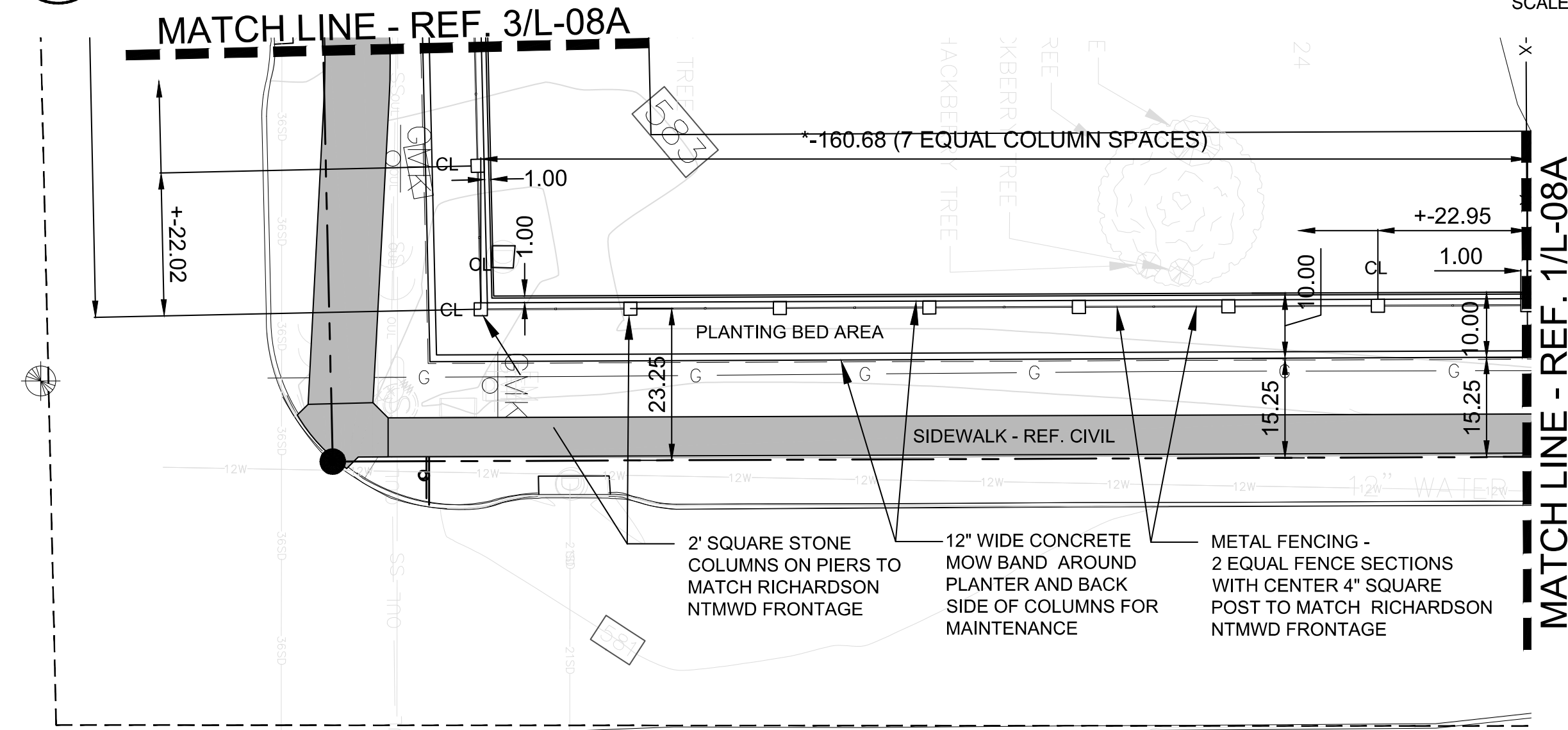
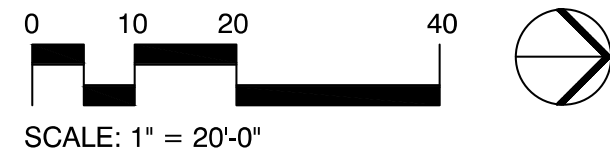
- REMOVE INVASIVE VEGETATION FROM TOP OF ROOT BALL.
- REMOVE EXCESS SOIL FROM TOP OF ROOT BALL TO EXPOSE TREE'S NATURAL ROOT FLARE TAPER.
- TRIM AWAY GIRDLING, CIRCLING AND SPIDER ROOTS AROUND EXPOSED ROOT FLARE.
- TOP OF PREPARED TREE SETS RELATIVE PLANTING DEPTH ABOVE FINISHED GRADE PER DETAILS AND SPECIFICATIONS.



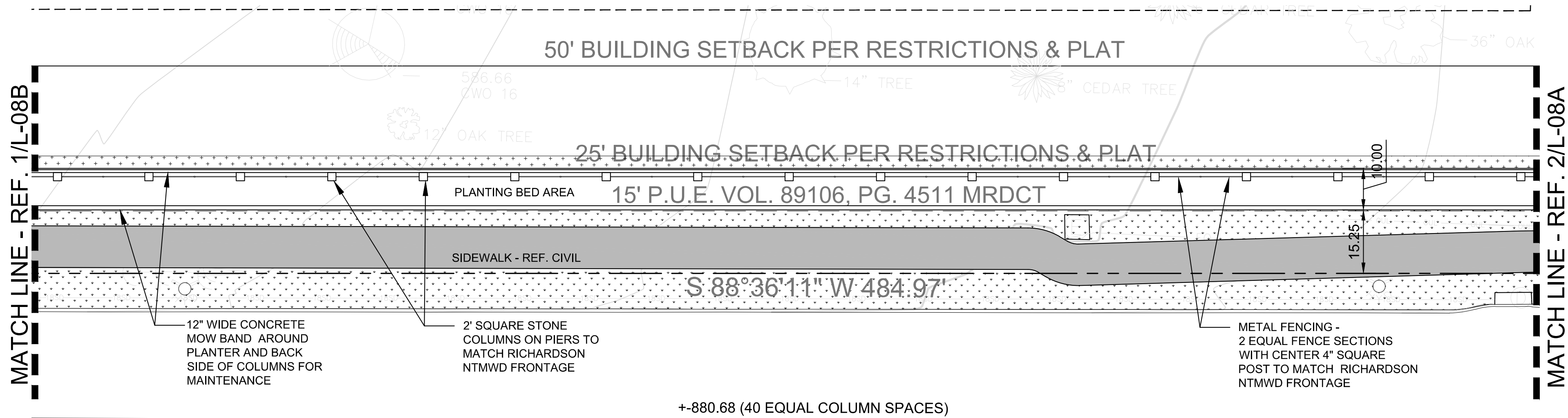
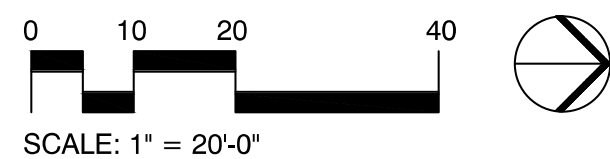
		FOR BIDDING	
DATE	REVISIONS		BY
LANDSCAPE PLANTING DETAILS			
NORTH GARLAND SYSTEM GROUND STORAGE TANKS			
NORTH TEXAS MUNICIPAL WATER DISTRICT GARLAND, TEXAS			
DESIGN _____	_____ LW	PROJECT NO. 101-0572-20	SHEET NO.
DRAWN _____	_____ LW		
CHECKED _____	_____ JCS	FILE NO. -	OF XX
APPROVED _____	_____ JCS		
DATE	FEBRUARY 28, 2024		



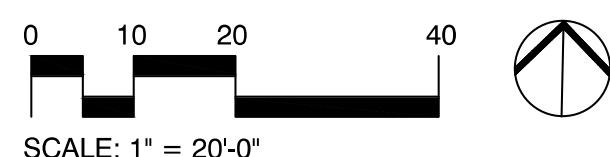
1 LANDSCAPE ENLARGEMENT FENCING AND MOW BAND PLAN
1" = 20'-0"



2 LANDSCAPE ENLARGEMENT PLANTING PLAN
1" = 20'-0"

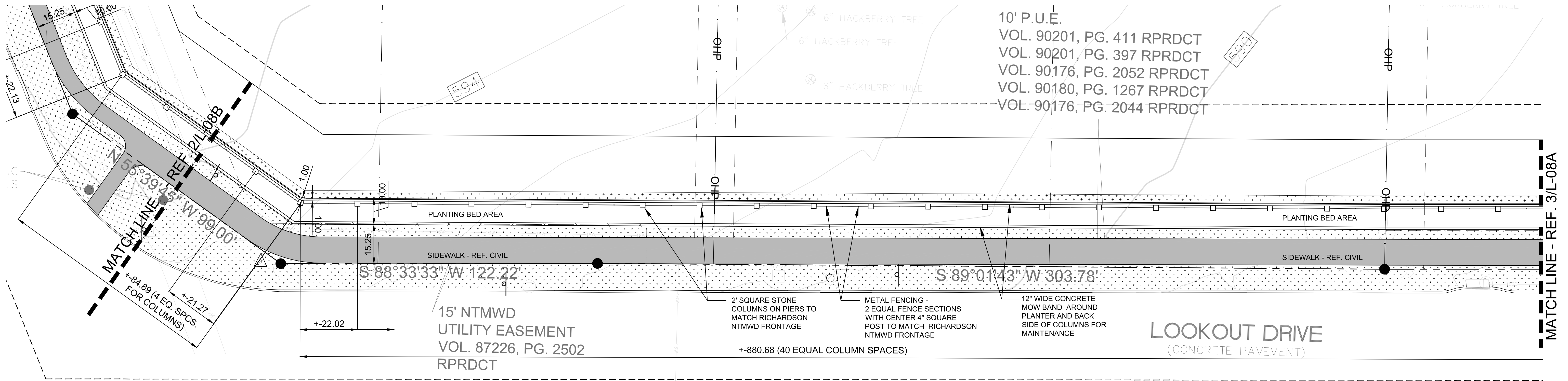


3 LANDSCAPE ENLARGEMENT PLANTING PLAN
1" = 20'-0"

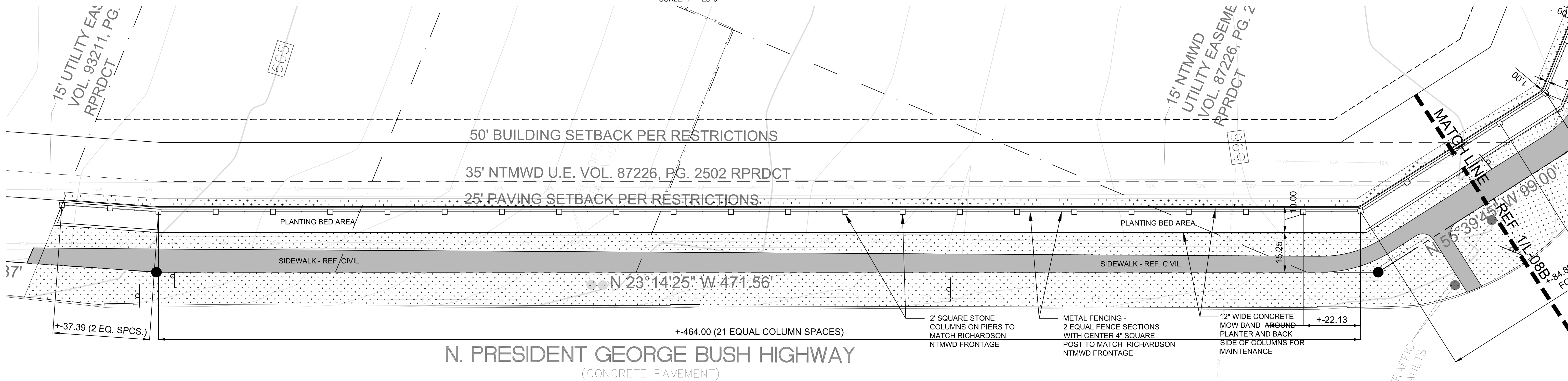
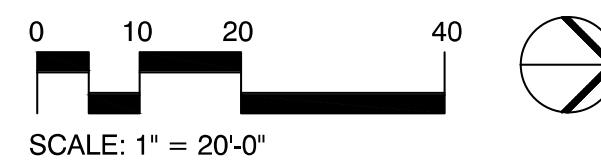


DRAWING NO.	L-08A
VERIFY SCALE	BAR IS ONE INCH ON ORIGINAL DRAWING. 0 1" IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

FOR BIDDING		
DATE	REVISIONS	BY
LANDSCAPE ENLARGEMENT FENCING AND MOW BAND PLAN		
NORTH GARLAND SYSTEM GROUND STORAGE TANKS		
NORTH TEXAS MUNICIPAL WATER DISTRICT GARLAND, TEXAS		
DESIGN	LW	PROJECT NO. 101-0572-20
DRAWN	LW	FILE NO.
CHECKED	JCS	
APPROVED	JCS	
DATE	FEBRUARY 28, 2024	
		SHEET NO. OF XX



1 LANDSCAPE ENLARGEMENT FENCING AND MOW BAND PLAN
1" = 20'-0"



1 LANDSCAPE ENLARGEMENT FENCING AND MOW BAND PLAN
1" = 20'-0"



CCA
LANDSCAPE
ARCHITECTS

CCA Landscape Architects Inc.
1701 Whispering Pines Ln
Gunter, TX 75058
P: 214-739-9105

shaping the built environment

JQ
INFRASTRUCTURE, LLC

100 GLASS STREET, SUITE 201
972.392.7340

DALLAS, TEXAS 75207
JQIENG.COM
TBP# FIRM 6-7985

REGISTERED LANDSCAPE ARCHITECT
JACOB CLARK STAMPING
STATE OF TEXAS
3165
2/28/2024

DRAWING NO. L-08B

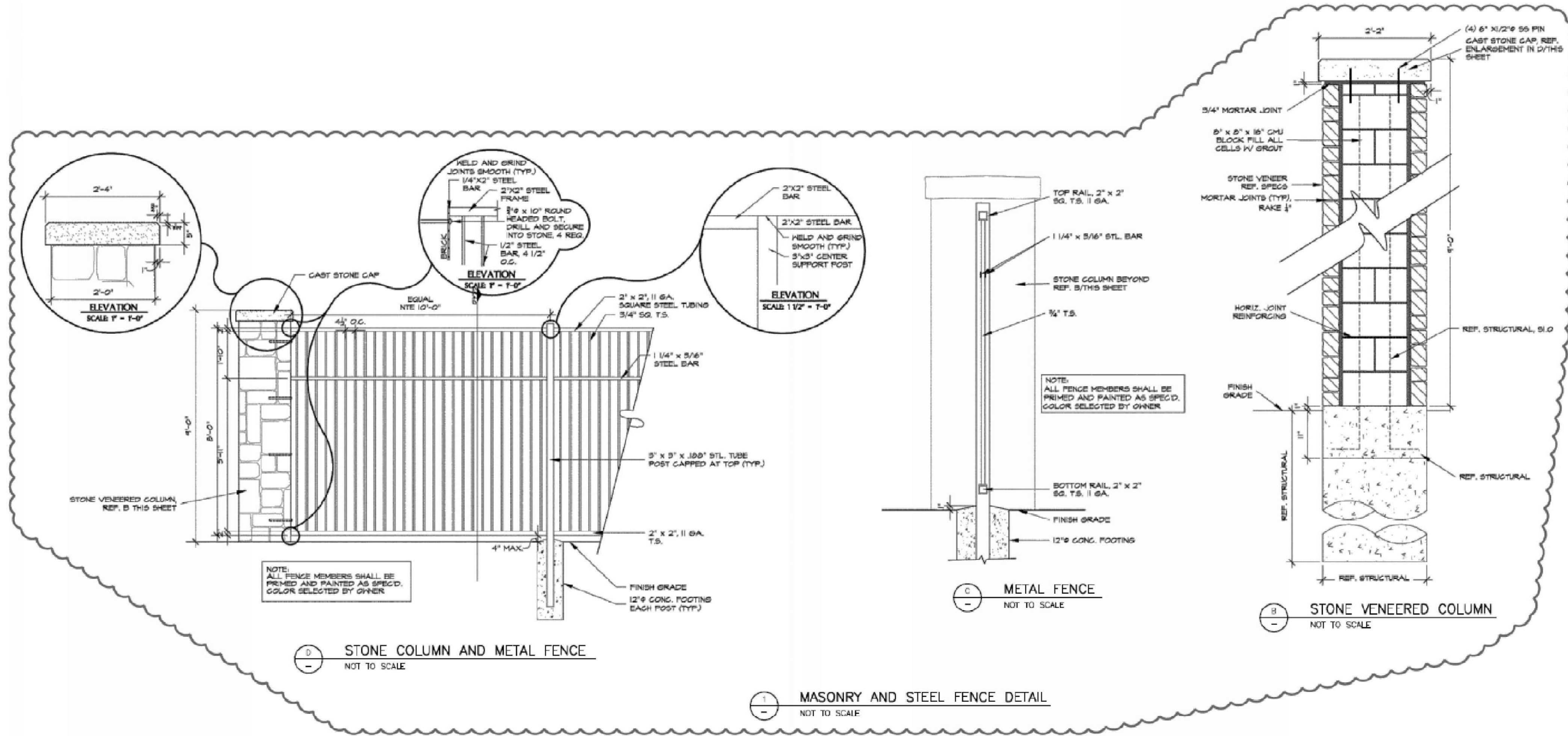
VERIFY SCALE

BAR IS ONE INCH ON ORIGINAL DRAWING.

0 1"

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

FOR BIDDING		
DATE	REVISIONS	BY
LANDSCAPE ENLARGEMENT FENCING AND MOW BAND PLAN		
NORTH GARLAND SYSTEM GROUND STORAGE TANKS		
NORTH TEXAS MUNICIPAL WATER DISTRICT GARLAND, TEXAS		
DESIGN	LW	PROJECT NO. 101-0572-20
DRAWN	LW	
CHECKED	JCS	FILE NO. -
APPROVED	JCS	
DATE	FEBRUARY 28, 2024	SHEET NO. OF XX



1 PERIMETER COLUMNS AND FENCE DETAILS
1" = 20'-0"

FOR BIDDING

CCA
LANDSCAPE
ARCHITECTS

CCA Landscape Architects Inc.
1701 Whispering Pines Ln
Gunter, TX 75058
P: 214-739-9105

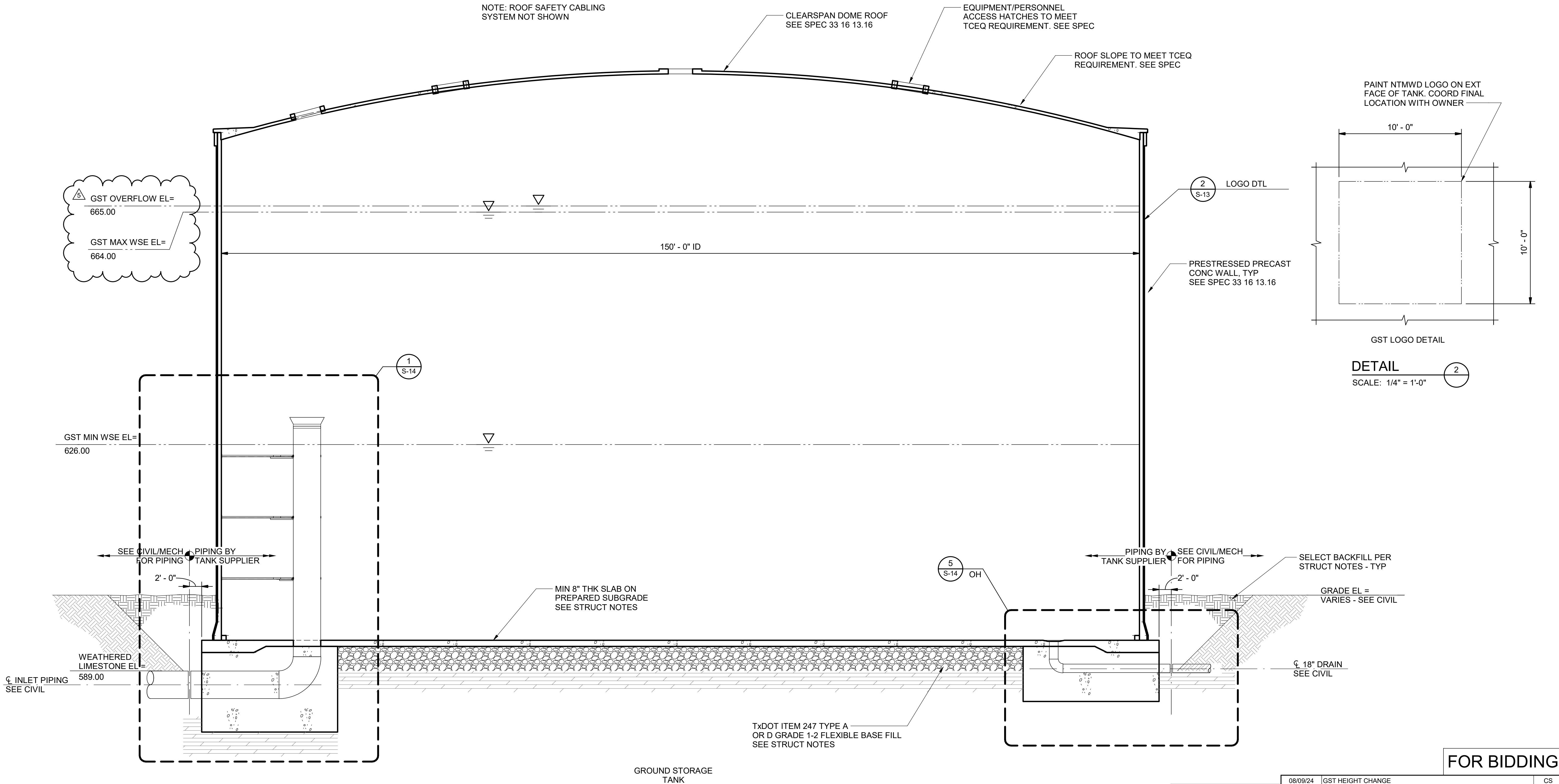
shaping the built environment

JQ
INFRASTRUCTURE, LLC

100 GLASS STREET, SUITE 201
972.392.7340

DALLAS, TEXAS 75207
JQENG.COM
TBP# FIRM 6-7985

 <i>J. Clark Starnes</i> 2/28/2024					
	DATE		REVISIONS		BY
LANDSCAPE FENCING DETAIL					
NORTH GARLAND SYSTEM GROUND STORAGE TANKS					
DRAWING NO. L-08C		NORTH TEXAS MUNICIPAL WATER DISTRICT GARLAND, TEXAS			
VERIFY SCALE		DESIGN _____ LW		PROJECT NO. 101-0572-20	
BAR IS ONE INCH ON ORIGINAL DRAWING.		DRAWN _____ LW		FILE NO. - OF XX	
0 _____ 1"		CHECKED _____ JCS			
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.		APPROVED _____ JCS			
		DATE _____ FEBRUARY 28, 2024			



GROUND STORAGE
TANK

SECTION
SCALE: 1/8" = 1'-0"

FOR BIDDING

	08/09/24	GST HEIGHT CHANGE	CS
	07/19/24	FOR BID REV 2	CS
	02/28/24	FOR BIDDING	CS
	12/19/23	TCEQ REVIEW	CS
	09/27/22	TCEQ REVIEW	CS
REVISIONS			BY
STRUCTURAL GROUND STORAGE TANK SECTION			
NORTH GARLAND SYSTEM GROUND STORAGE TANK			
NORTH TEXAS MUNICIPAL WATER DISTRICT GARLAND, TEXAS			
DESIGN C. DECKER, C. PONG.		PROJECT NO.	101-0572-20
DRAWN J. FARIAS, L. SOTO.		FILE NO.	
CHECKED C. STORY.			69
APPROVED C. STORY.			OF
DATE AUGUST 09, 2024			

shaping the built environment

JQ INFRASTRUCTURE, LLC
100 GLASS STREET, SUITE 201
972.392.7340
PROJECT NO: 4200331

DALLAS, TEXAS 75207
JQIENG.COM
TBPE FIRM F-7986

DRAWING NO. S-13

VERIFY SCALE

BAR IS ONE INCH ON ORIGINAL DRAWING.

IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

Z 23-07



View from the subject site looking North from Lookout Drive.



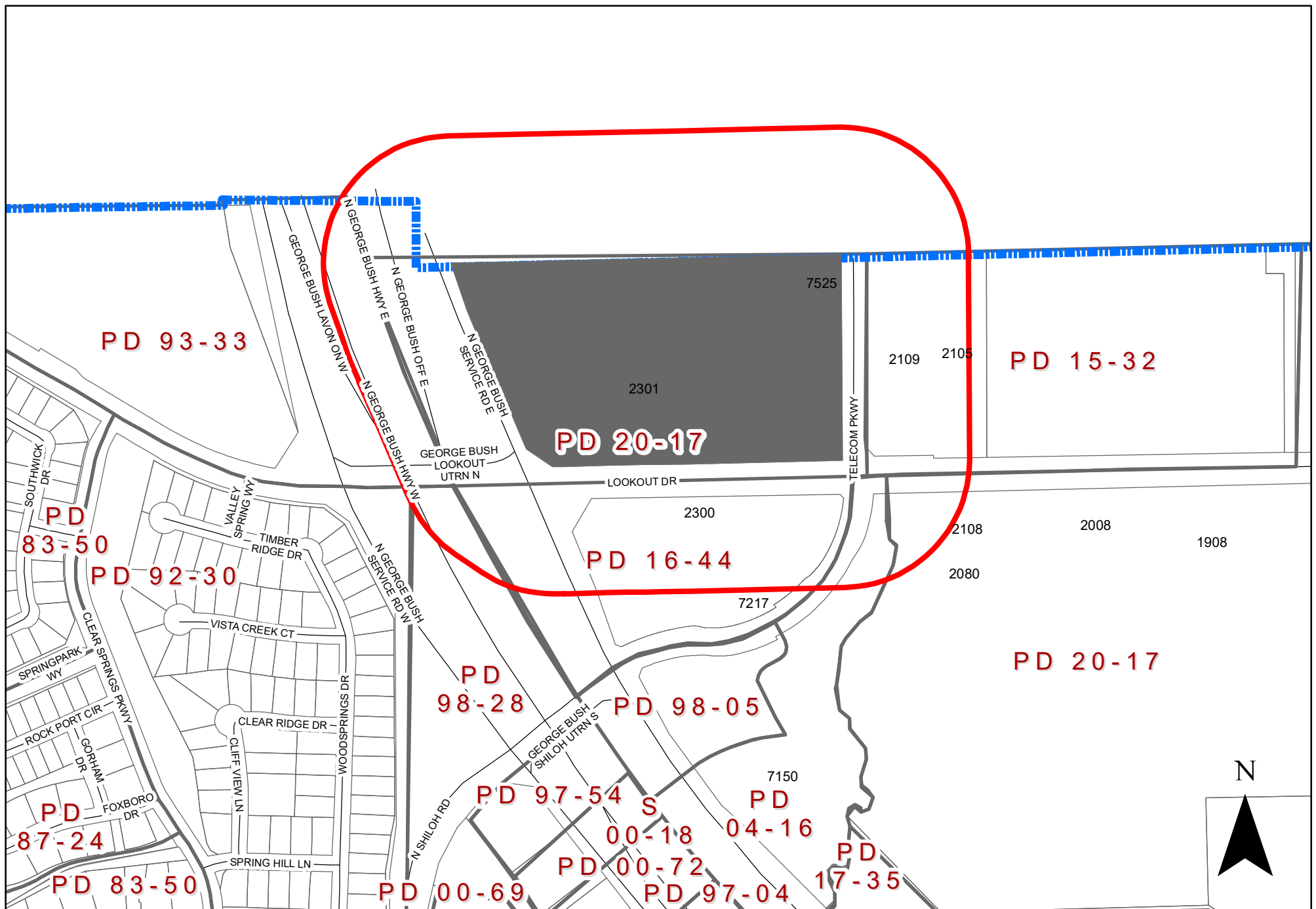
View from the subject site looking West down the PGBT.



View from the subject site looking East down Lookout Drive.



View of the subject site looking North up Telecom Parkway.



ZONING MAP Z 23-07

2301 Lookout Drive

To date we have not received any responses for this case.



GARLAND

Plan Commission

2. b.

Meeting Date: 08/12/2024

Item Title: Z 24-27 Moin Muhammad (District 8)

Summary:

Consideration of the application of **Moin Muhammad**, requesting approval of a Change in Zoning from Industrial (IN) District to Community Retail (CR) District. This property is located at 1010 N Shiloh Road. (District 8) (File Z 24-27)

Attachments

Z 24-27 Moin Muhammad Report & Attachments

Z 24-27 Moin Muhammad Responses

Planning Report

File No: Z 24-27/District 8

Agenda Item:

Meeting: Plan Commission

Date: August 12, 2024



GARLAND

TEXAS MADE HERE

REQUEST

Approval of a Change in Zoning from Industrial (IN) District to Community Retail (CR) District.

LOCATION

1010 N Shiloh Rd

APPLICANT

Moin Muhammad

OWNER

Youngmans Ventures LLC

BACKGROUND

The subject site is currently an undeveloped site off North Shiloh Road.

SITE DATA

The site is approximately 1.766 acres and will be accessed from North Shiloh Road.

USE OF PROPERTY UNDER CURRENT ZONING

The site is zoned Industrial (IN) District and is currently vacant.

The Industrial (IN) district is intended to provide for a wide range of industrial uses that are generally not compatible adjacent to residential neighborhoods, and may or may not be compatible with some nonresidential uses. Such uses include manufacturing, processing, assembling, research and development, and warehousing and distribution. The Industrial district also accommodates support services for industrial development such as office, commercial, personal and professional services, and limited retail activities. The Industrial district regulations are designed to ensure compatibility among the various uses allowed in the district, and to protect adjacent non-industrial development from potentially incompatible uses and conditions.

CONSIDERATIONS

1. The request is a traditional rezoning without the formation of a Planned Development (PD) District. These requests do not require Concept Plan approval to commence or direct development. Development is dependent on the standards set forth by the Garland Development Code (GDC) and the goals and policies established within the Envision Garland 2030 Comprehensive Plan. This Change in Zoning is not intended to restrict uses or secure development performances beyond what is permitted within the proposed zoning district and the GDC. Accordingly, the GDC requires careful consideration as to how closely the proposed district follows the policies of the Envision Garland 2030 Comprehensive Plan, and to what degree the rezoning will affect surrounding and future development.

The Community Retail (CR) district is intended to accommodate a variety of retail, service, and business establishments that may or may not be designed in a shopping center configuration. The district may be used as a transition district between lower intensity retail or office uses and more intense uses. A CR district is generally appropriate along major transportation corridors but is generally not appropriate in proximity to low-density residential districts without significant buffering and screening features. An example of allowed use in a CR district is a retail shopping area that may be large in scale with very limited or no outside storage. Traffic generated by uses in a CR district must be focused onto the major thoroughfare network. Development in a CR district may not be designed in a manner that increases traffic through residential areas.

2. In the event the Zoning Change request is approved, the applicant will need to proceed with the platting of the subject property and securing a site permit and a building permit prior to commencing construction. It will be during the permitting process that staff will review the proposed development and verify compliance with all the applicable regulations.

COMPREHENSIVE PLAN

Business centers provide a cluster of business offices and/or low impact industry, including campus-type development, that cumulatively employ large numbers of people. Operations within this development type occur internal to buildings resulting in minimal negative impacts (sound, air, traffic, outdoor lighting, storage, etc.) and are compatible with adjacent development types in architecture, character, scale, and intensity. Business centers are generally located at intersections of major and/or secondary arterial streets or significant transit areas (bus/rail). Proximity and access to residential areas are encouraged to reduce travel times to employment. Site design addresses function and visual aesthetics providing appropriate buffering at gateway corridors, between adjacent developments, and for residential neighborhoods.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The property to the South is zoned Industrial (IN) District and contains a warehouse and office for a business, the property to the East is zoned Planned Development (PD) District 21-04 and contains a multi-family development. The property to the North is zoned Single-Family-7 (SF-7) District and contains a church. Finally, the properties to the East across North Shiloh Road are zoned Single-Family-7 (SF-7) and contains a single-family detached subdivision.

STAFF RECOMMENDATION

Approval of a Change in Zoning from Industrial (IN) District to Community Retail (CR) District.

ADDITIONAL INFORMATION

- i. Location Map
- ii. Photos

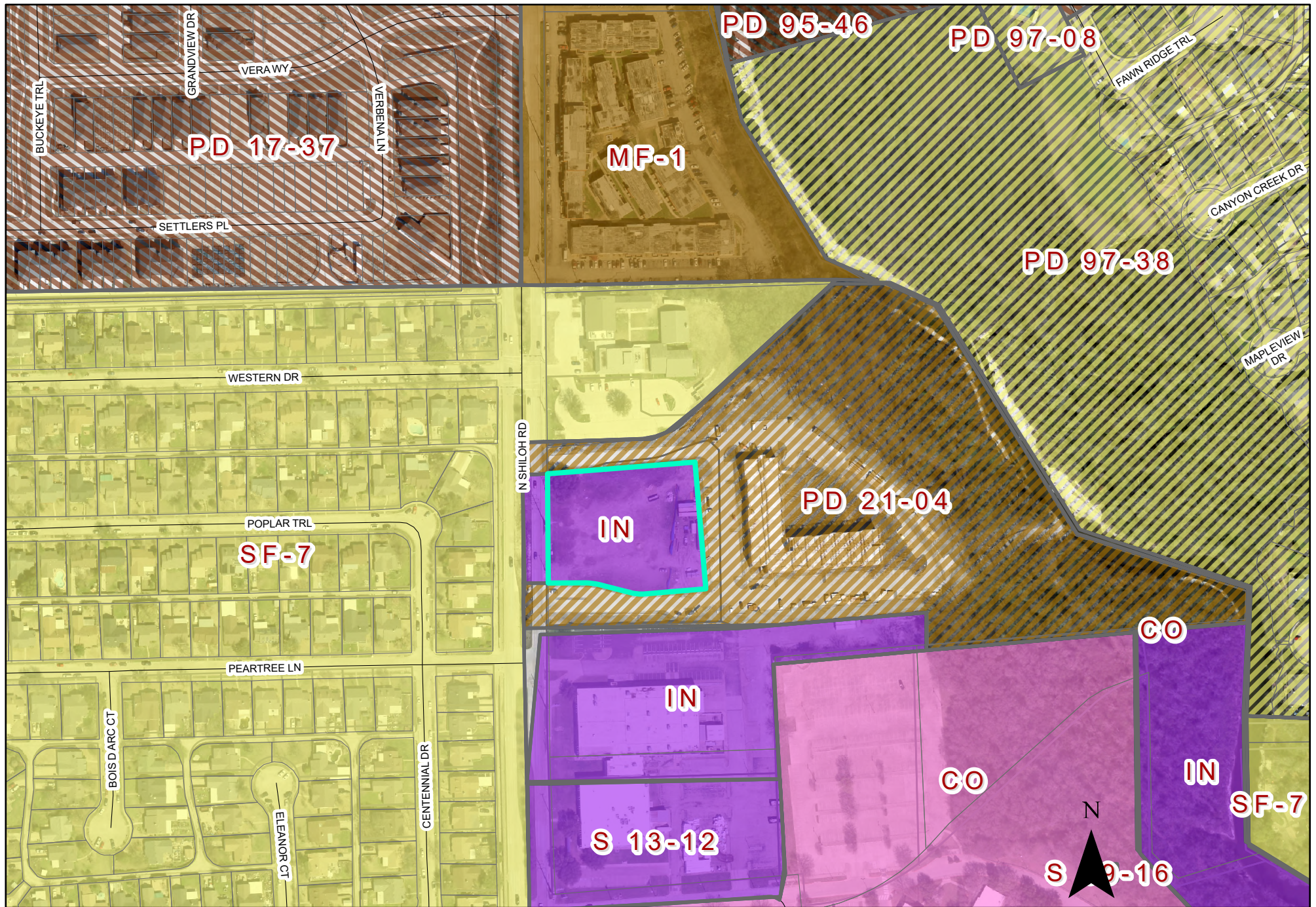
CITY COUNCIL DATE: September 3, 2024

PREPARED BY:

Matthew Wolverton
Planner II
Planning & Development
972-205-2454
mwolverton@garlandtx.gov

REVIEWED BY:

Angela Self, FAICP
Interim Director of Planning



0 175 350 Feet

ZONING MAP Z 24-27

INDICATES AREA OF REQUEST

1010 N Shiloh Rd

Z 24-27



View from the proposed site looking South down N Shiloh Rd.



View looking West from the site across N Shiloh Rd.



View looking North up N Shiloh Rd.



View of the site from N Shiloh Rd.

Zoning Response Case Comments

Case Number	PC Hearing Date	CC Hearing Date	Planner Name
Z 24-27	August 12, 2024	September 3, 2024	Matthew Wolverton

Moin Muhammad. The applicant proposes a change in zoning from Industrial (IN) District to Community Retail (CR) District. The site is located at 1010 North Shiloh Road (District 8)

William Spears

For

8/6/2024
9:34:25 PM

1921 mission dr

Garland
Texas
United States
75042

Outside the Notification Area