



GARLAND

NOTICE OF MEETING CITY OF GARLAND, TEXAS

**PLAN COMMISSION
City Hall, Council Chambers
William E. Dollar Municipal Building
200 N. Fifth Street
Garland, Texas
September 23, 2019 at 7:00 p.m.**

A meeting of the Plan Commission of the City of Garland, Texas will be held at the aforementioned location, date, and time to discuss and consider the following agenda items.

A pre-meeting will begin at 5:30 p.m. at the same location as the regular meeting. The agenda for the pre-meeting is the same as for the regular meeting, and may include additional items as set forth below.

INVOCATION AND PLEDGE OF ALLEGIANCE: It is the custom and tradition of the members of the Plan Commission to have an invocation and recital of the Pledge of Allegiance prior to the beginning of the meeting. Members of the audience are invited to participate. However, members of the audience are not required to participate. The decision to participate is strictly a matter of personal choice and has no bearing on matters to be considered by the Plan Commission and will not affect the decisions to be made during the meeting.

CONSENT AGENDA

All items under this section are recommended for approval by a single motion of the Plan Commission, without discussion. The Plan Commission has had the opportunity to review each of these items during a pre-meeting. The Chairman will announce the agenda and provide an opportunity for members of the audience and the Plan Commission to request that an item be removed and considered separately.

1. MINUTES

- a.** Consider approval of Minutes for the September 9, 2019 meeting.

2. PLATS

- a. P 19-23 Firewheel Lofts Final Plat

ITEMS FOR INDIVIDUAL CONSIDERATION

Speaker Regulations:

Anyone wishing to speak for, against, or on agenda items must fill out a speaker card and give it to the Plan Commission Secretary before speaking (cards are located at the entrance to the Council Chambers). The Chairman will recognize speakers; he may impose a time limit and may provide for rebuttal. All comments and testimony are to be presented from the podium.

3. ZONING

- a. Consideration of the application of **Brian Cole Henson**, requesting approval of 1) a Change in Zoning from Single-Family-7 (SF-7) District to Downtown (DT) District with Uptown (U) Sub-District; 2) a Downtown Development Plan for a Social Service Facility/Agency Use, Medical Clinic Use and Dwelling, Accessory-Guard/Manager/Caretaker; 3) a House Conversion from a Residential Use to a Non-Residential Use; and 4) a Major Waiver to allow a Freestanding Sign; and 5) a Major Waiver to establish the property with existing improvements. This property is located at 920 West Avenue D. (District 2) (File Z 19-26, DD 19-02 and HC 19-01)
- b. Consideration of the application of **CDS Development Services**, requesting approval of a Specific Use Provision for a Restaurant, Drive Through on a property zoned Community Retail (CR) District. This property is located at 5724 Broadway Blvd. (District 4) (File Z 19-28)

4. MISCELLANEOUS

- a. Consideration of the application of **Entertainment Properties Group**, requesting approval of a Master Sign Plan on a property zoned Planned Development (PD) District 17-35 which allows consideration of deviations to Chapter 4, Article 5 of the Garland Development Code regarding sign size. This property is located at 5902 President George Bush Turnpike. (District 1) (File SV 19-02)
- b. Consider amendments to Chapter 2, Sections 2.51 and 2.52; and Chapter 6, Section 6.03 of the Garland Development Code creating a definition and regulations for "Makerspace (Hackerspace)" uses.

5. ADJOURN

NOTICE: The Plan Commission may recess from the open session and convene in a closed session if the discussion of any of the listed agenda items concerns matters regarding privileged and unprivileged client information deemed confidential by Rule 1.05 of the Texas Disciplinary Rules of Professional Conduct. Sec. 551.071, Tex. Gov't Code.

NOTE: A quorum of the City Council may be in attendance and may or may not participate in the discussions of the Committee or board.



GARLAND

Plan Commission

1. a.

Meeting Date: 09/23/2019

Item Title: Plan Commission Minutes for September 9, 2019 meeting

Summary:

Consider approval of Minutes for the September 9, 2019 meeting.

Attachments

September 9, 2019 Minutes Attachmnet

Minutes of the Garland Plan Commission Meeting

The Plan Commission of the City of Garland met in regular session on Monday, September 9, 2019, at 7:00 p.m. in the Council Chambers at the William E. Dollar Municipal Building, (City Hall), with the following members present:

COMMISSION PRESENT

Chairman	Scott Roberts
Commissioner	Wayne Dalton
Commissioner	Steven Hallman
Commissioner	Preston Edwards
Commissioner	John O'Hara
Commissioner	Truett Welborn
Commissioner	Douglas Williams
Commissioner	Michael Rose
Commissioner	Christopher Ott

STAFF PRESENT

Deputy City Attorney	Brian England
Recording Secretary	Tracy Allmendinger
Asst. Recording Secretary	Denise Phillips
Staff	Will Guerin
Staff	Kimberly Hopkins

1. COMMENTS FROM THE CHAIRMAN

CONSENT AGENDA

All items marked with asterisks (**) on the Consent Agenda were voted on at the beginning of the meeting. Chairman Roberts read those items into the record. **Motion** was made by Commissioner Williams to **approve** the Consent Agenda as presented, seconded by Commissioner Dalton. **Motion carried: 8 Ayes, 0 Nays.** Commissioner Welborn abstained from voting due to his absence from the August 12, 2019 meeting.

MINUTES

2a. APPROVED** Approval of Minutes for the regular meeting of August 12, 2019.

3a. APPROVED** P 19-21 Sears Industrial District No. 4 Replat

ITEMS FOR INDIVIDUAL CONSIDERATION

4a. APPROVED Consideration of the application of **Platinum Storage c/o Masterplan**, requesting approval of a 1) Change in Zoning from Community Office (CO) District, and from Planned Development (PD) 80-32 for Community Office and

Community Retail Uses to a Planned Development (PD) District with Community Retail (CR) District for Retail, Office, and Self-Storage Facility (mini-warehouse) Uses; 2) a Specific Use Provision for Self-Storage Facility (mini-warehouse); 3) a Detail Plan; 4) a Variance to Section 4.34 of the Garland Development Code (GDC) regarding site and perimeter landscaping; and 5) a Variance to Section 4.35 of the Garland Development Code (GDC) regarding parking area landscaping. This property is located on the south side of IH-30, west of Beltline Road, and at the future extension of Guthrie Road. (District 4) (File Z 17-46)

The applicant, Maxwell Fisher, 900 Jackson Street, Dallas, Texas, provided an overview of the request. He further elaborated on the building design, restaurant/retail components on the front of the building, parking, refuse orientation.

Commissioner Rose inquired as to whether the building design being displayed is what will be built.

Commissioner Ott requested additional information regarding the restaurant/retail components and parking within the building.

Commissioner Dalton questioned the accessibility of the building and commented on the I-30 Corridor Catalyst Plan recommendation for this area.

Chairman Roberts inquired to the refuse orientation and extension of perimeter fencing.

Speaking in opposition:

Representing RP Beltline I-30 Shopping LP, RP Texas 10 % Shopping Center LP, Richard M Dooley, 11882 Greenville, Dallas spoke in opposition of this request due to the type of use being proposed, use is incompatible with the recommended uses of the I-30 Corridor Catalyst Plan, and the insufficient retail component.

Geena Piwetz, 12342 Inwood Road, Dallas spoke regarding the opposition of the building tenants.

Chairman Roberts, Rose, Ott and Hall spoke in support of the request.

Motion was made by Commissioner O'Hara to close the public hearing and **deny** the request per staff recommendation. Seconded by Commissioner Dalton. **Motion failed: 4 Ayes, 5 Nays** from Chairman Roberts and Commissioners Hallman, Williams, Rose and Ott.

Motion was made by Commissioner Rose, to close the public hearing and **approve** the request with the condition upon the applicant entering into a Development Agreement to address the Setback, Building Materials and Landscape Variances and extend the perimeter fencing to provide screening for the overhead doors at the drive-through opening. Seconded by Commissioner Ott. **Motion carried: 8 Ayes, 1 Nay** from Commissioner O'Hara

4b. APPROVED

Consideration of the application of **Baldwin Associates, LLC**, requesting approval of 1) an amendment to Planned Development (PD) District 07-57 for Multi-Family Uses; 2) an amended Detail Plan for Multi-Family Uses; 3) a Variance to Section 4.34 of the Garland Development Code (GDC) regarding site and perimeter landscaping; 4) a Variance to Section 4.35 of the Garland Development Code (GDC) regarding parking area landscaping; and 5) a Variance to Section 4.40 of the Garland Development Code (GDC) regarding screening between multi-family development and single-family residential district boundary lines. This property is located at 3232 North Garland Avenue and 1210 Apollo Road. (District 8) (File Z 19-17)

Representing the applicant, Rob Baldwin, 3904 Elm Street #B, Dallas, Texas, provided an overview of the request and provided additional information regarding gated only access from Apollo Road.

Motion was made by Commissioner Ott to close the public hearing and **approve** the request with the stipulation the Apollo Road access be for emergency vehicle use only. Seconded by Commissioner Edwards. **Motion carried: 9 Ayes, 0.**

4c. DENIED

Consideration of the application of **Maria Elena Farias**, requesting approval of a Specific Use Provision for a Reception Facility on a property zoned Community Retail (CR) District. This property is located at 3160 Saturn Road. (District 5) (File Z 19-24)

Representing the applicant Marisol Lopez, 301 West Avenue

D, Garland, Texas, gave an overview of the request and provided additional information regarding the hours of operation and stated catering would be provided by outside entities.

Commissioner Dalton inquired as the absence of food and alcohol, the use of the rear exit door and commented on potential noise levels.

Commissioner Ott questioned if security would be on site when alcohol would be available in conjunction with certain events.

Rocio Abarca, 709 Trend Drive, Garland, Texas, spoke in support of the request and provided additional information regarding the hours of operations, stated catering would be provided by outside entities,

Speaking in opposition of the request:

Jan Alexander, 1102 Overhill Drive, Garland, Texas
Betty Roberts, 901 Saturn Springs, Garland, Texas
Margi Bice, 2617 Ashley Drive, Garland, Texas

Concerns were raised regarding type of business being proposed, noise, safety/security, traffic, site access, hours of operation, and contradicts Envision Garland Plan recommendations.

Residents not speaking, but registering in opposition of the request:

Cathy Stark, 1014 Carney Drive, Garland, Texas
Jim Neargarder, 945 Old Orchard, Garland, Texas
Rhonda Spence, 912 Old Orchard, Garland, Texas
Jackie D. Feagin, 3302 Pecan Lane, Garland, Texas

Chairman Roberts and Commissioners Dalton and Williams spoke against the request.

Commissioners Ott and Hallman spoke in favor of the request with a shorter SUP and restriction of hours of operation.

Motion was made by Commissioner Welborn, to close the public hearing and **deny** the request per staff recommendation. Seconded by Commissioner Williams.

Motion carried: 5 Ayes, 4 Nays by Commissioner Hallman, O'Hara, Rose and Ott.

4d. APPROVED Consideration of the application of **Spiars Engineering**, requesting approval of a Specific Use Provision for a Restaurant, Drive-Through on a property zoned Community Retail (CR) District. This property is located at 3414 Broadway Boulevard. (District 3) (File Z 19-25)

Representing the applicant, Mark Ewing, 765 Custer Road, Plano, Texas, and Megan Vaissen, 2201 Wolf Street, Dallas, Texas provided an overview of the request and provided additional information regarding ownership of the restaurant.

Commissioner Edwards spoke in support of this request.

John L. Gatz, 401 Colonel Drive, Garland, Texas, questioned if this applicant is a franchise restaurant and the square footage of the building.

Motion was made by Commissioner Edwards, to close the public hearing and **approve** the request per staff recommendation. Seconded by Commissioner O'Hara.
Motion carried: 9 Ayes, 0 Nays.

5 MISCELLANEOUS

5a. Election of Officers

Commissioner Welborn nominated Chairman Roberts for Chairman, Commissioner Williams for Vice-Chairman, and Commissioner Hallman for Second Vice-Chairman.

Commissioner Rose nominated Chairman Roberts for Chairman, Commissioner Ott for Vice-Chairman, and Commissioner Williams for Second Vice-Chairman.

Commissioner Williams withdraws Vice-Chairman nomination.

The Commission voted nine (9) to zero (0) to nominate Chairman Roberts as Chairman.

The Commission voted eight (8) to one (1) to nominate Commissioner Ott as Vice Chairman. Commissioner Ott voted for Commissioner Hallman.

The Commission voted nine (9) to zero (0) to nominate Commissioner Williams as Second Vice-Chairman

ADJOURNMENT

There being no further business to come before the Plan Commission, the meeting was adjourned at 9:30 p.m.

City of Garland, Texas

Approved:

Chairman

Attested:

Recording Secretary



GARLAND

Plan Commission

2. a.

Meeting Date: 09/23/2019

Item Title: P 19-23 Firewheel Lofts Final Plat

Summary:

P 19-23 Firewheel Lofts Final Plat

Attachments

P 19-23 Firewheel Lofts Final Plat Report and Attachments



GARLAND
TEXAS MADE HERE

Planning Report

File No: P 19-23/District 1

Agenda Item:

Meeting: Plan Commission

Date: September 23, 2019

FINAL PLAT

Firewheel Lofts Final Plat

LOCATION

3400 Firewheel Parkway

ZONING

Planned Development (PD) 18-33

NUMBER OF LOTS

1

ACREAGE

11.79 acres

BACKGROUND

The applicant requests approval of a final plat, with one (1) lot to be developed for multi-family use.

STAFF RECOMMENDATION

Approval of the Final Plat. All technical requirements of the plat have been addressed and the plat is in order as submitted.

ADDITIONAL INFORMATION

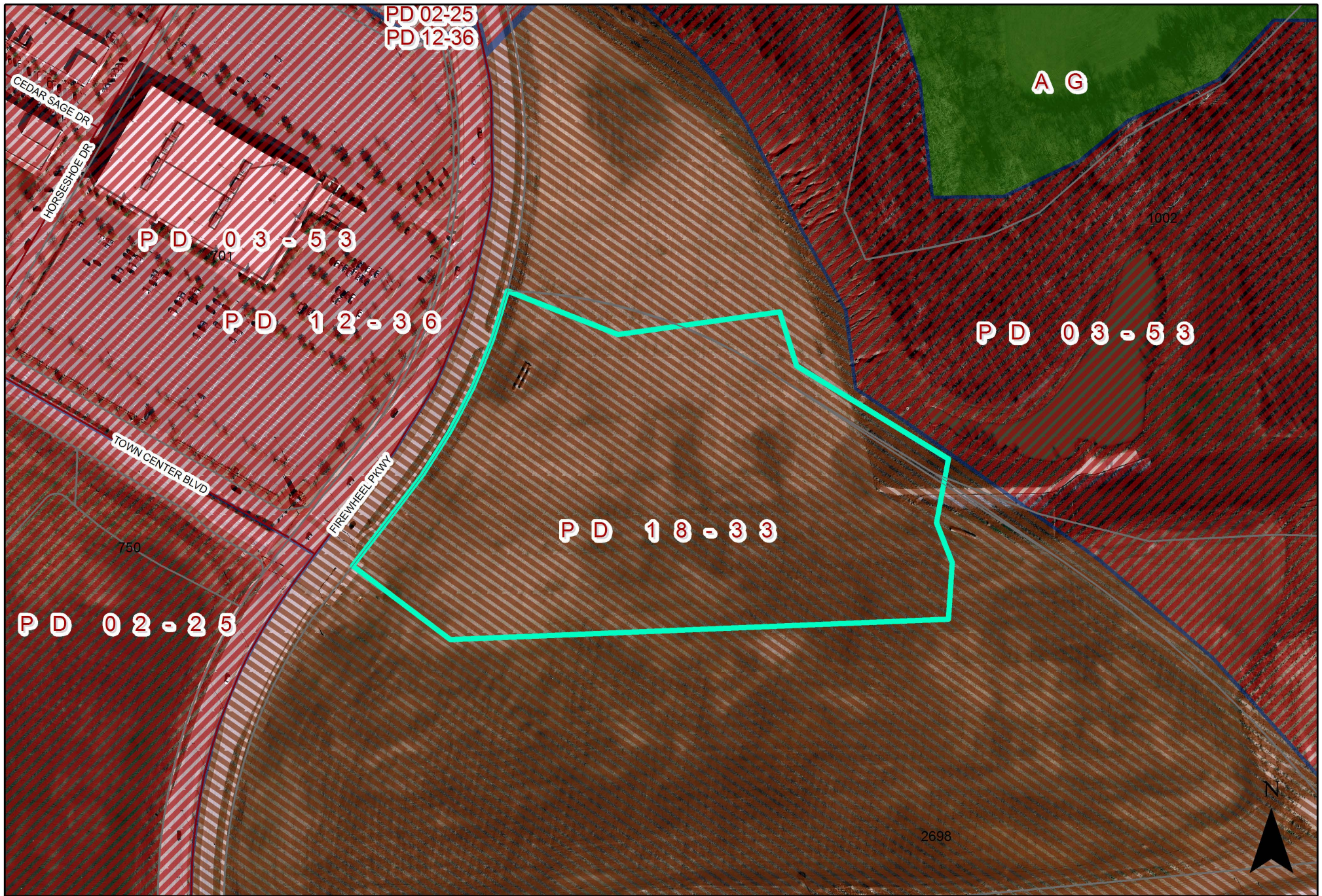
- i. Location Map
- ii. 8x11 Plat

PREPARED BY:

Kimberly Hopkins
Development Planner
Planning & Community Development
972-205-2454
khopkins@garlandtx.gov

REVIEWED BY:

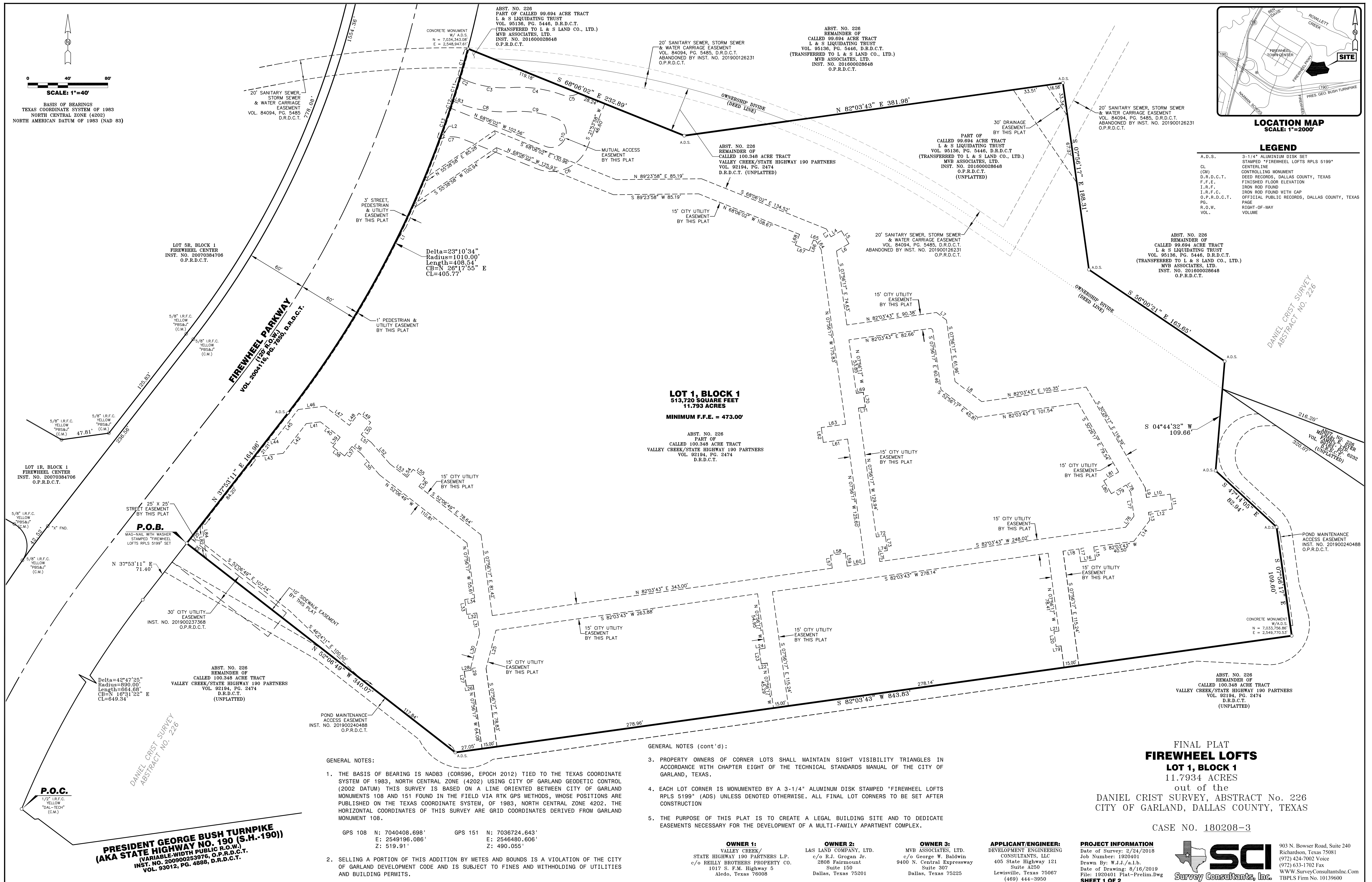
Will Guerin, AICP
Director of Planning



0 130 260 Feet
1 inch = 226 feet

Plat Map P 19-23

 INDICATES AREA OF REQUEST



LINE TABLE		
NUMBER	DIRECTION	DISTANCE
L1	N 34°36'07" E	20.04'
L2	N 70°13'31" W	3.00'
L3	S 30°26'17" E	9.03'
L4	N 59°33'43" E	12.00'
L5	S 30°26'17" E	15.00'
L6	S 59°33'43" W	14.39'
L7	S 52°56'17" E	12.57'
L8	S 52°56'17" E	33.38'
L9	S 07°56'17" E	9.97'
L10	N 81°59'53" E	24.00'
L11	S 07°56'17" E	15.00'
L12	S 82°03'43" W	24.00'
L13	S 07°56'17" E	8.05'
L14	S 37°03'43" W	26.21'
L15	S 07°56'17" E	13.00'
L16	S 82°03'43" W	15.00'
L17	N 07°56'17" W	13.00'
L18	S 82°03'43" W	16.00'
L19	S 82°03'43" W	5.00'
L20	N 07°56'17" W	15.00'
L21	N 82°03'43" E	5.00'
L22	S 82°03'43" W	6.00'
L23	N 07°56'17" W	15.00'
L24	N 82°03'43" E	6.00'
L25	S 14°33'43" W	39.41'
L26	S 82°03'43" W	7.00'
L27	N 07°56'17" W	15.00'
L28	N 82°03'43" E	7.00'
L29	N 07°56'17" W	2.74'
L30	N 14°33'43" E	35.09'
L31	N 07°56'17" W	20.74'
L32	S 82°03'43" W	10.00'
L33	N 07°56'17" W	15.00'
L34	N 82°03'43" E	10.00'
L35	N 40°51'49" W	28.19'
L36	N 52°06'49" W	11.38'
L37	S 37°53'11" W	12.00'
L38	N 52°06'49" W	15.00'
L39	N 37°53'11" E	12.00'
L40	N 52°06'49" W	24.99'
L41	S 82°53'11" W	14.28'
L42	S 37°53'11" W	37.57'
L43	S 82°53'11" W	29.58'
L44	N 82°53'11" E	8.37'
L45	N 37°53'11" E	37.57'
L46	N 82°53'11" E	26.70'
L47	S 52°06'49" E	31.21'
L48	N 37°53'11" E	15.50'
L49	S 52°06'49" E	15.00'
L50	S 37°53'11" W	15.50'
L51	S 52°06'49" E	12.86'
L52	S 40°51'49" E	28.19'
L53	S 52°06'49" E	21.78'
L54	N 37°53'11" E	10.00'
L55	S 52°06'49" E	15.00'
L56	S 37°53'11" W	10.00'
L57	N 07°56'17" W	13.00'
L58	N 82°03'43" E	15.00'
L59	S 07°56'17" E	13.00'
L60	N 82°03'43" E	17.95'
L61	S 82°03'43" W	24.50'
L62	N 07°56'17" W	15.00'
L63	N 82°03'43" E	24.50'
L64	N 30°26'17" W	10.15'
L65	N 68°06'02" W	2.75'
L66	S 21°53'58" W	11.52'
L67	N 68°06'02" W	15.00'
L68	N 21°53'58" E	11.52'
L69	N 82°03'43" E	7.00'
L70	S 07°56'17" E	15.00'
L71	S 82°03'43" W	7.00'
L72	N 82°03'43" E	9.00'
L73	S 07°56'17" E	15.00'
L74	S 82°03'43" W	9.00'
L75	S 07°56'17" E	9.74'
L76	N 37°03'43" E	13.79'
L77	N 07°56'17" W	23.81'
L78	N 30°26'17" W	8.84'
L79	S 59°33'43" W	17.17'
L80	N 30°26'17" W	15.00'
L81	N 59°33'43" E	17.17'
L82	S 07°06'49" E	35.36'
L83	S 68°50'14" E	6.82'
L84	S 07°06'49" E	21.21'

CURVE TABLE					
NUMBER	DELTA	RADIUS	LENGTH	CHORD BEARING	CHORD
C1	01°40'28"	1010.00	29.52	S 15°32'52" W	29.52
C2	12°57'41"	30.00	6.79	S 81°37'12" E	6.77
C3	25°54'02"	100.00	45.20	S 81°03'03" E	44.82
C4	23°54'39"	124.00	51.75	S 82°02'45" E	51.37
C5	50°00'47"	20.00	17.46	N 84°54'11" E	16.91
C6	90°00'00"	39.00	61.26	S 66°53'58" W	55.15
C7	44°57'50"	30.00	23.54	S 89°25'03" W	22.94
C8	25°09'50"	124.00	54.46	S 81°25'09" E	54.02
C9	25°54'02"	100.00	45.20	S 81°03'03" E	44.82
C10	180°00'00"	15.00	47.12	S 21°53'58" W	30.00
C11	01°24'51"	1010.00	24.93	N 17°05'32" E	24.93
C12	00°25'19"	1010.00	7.44	S 18°00'37" W	7.44
C13	01°51'41"	1010.00	32.81	S 19°09'07" W	32.81

OWNER'S CERTIFICATE

STATE OF TEXAS §
COUNTY OF DALLAS §

WHEREAS Valley Creek/State Highway 190 Partners L.P., L&S Land Company, Ltd. and MVB Associates, Ltd. are the owners of a tract of land located in the City of Garland, Dallas County, Texas, part of the Daniel Crist Survey, Abstract No. 226, being part of a called 100.348 acre tract of land described in deed to Valley Creek/State Highway 190 Partners as recorded in Volume 92194, Page 2474, Deed Records, Dallas County, Texas as part of a called 99.694 acre tract of land described in deed to L & S Liquidating Trust as recorded in Volume 95136, Page 5446, Deed Records, Dallas County, Texas, with a 25% interest in said 99.694 acre tract conveyed to MVB Associates, Ltd. by deed recorded as Instrument No. 201600028648, Official Public Records, Dallas County, Texas, and being more particularly described as follows:

COMMENCING at a 1/2" iron rod with cap stamped "Dal-Tech" found at the intersection of the easterly right-of-way line of Firewheel Parkway (called 120' R.O.W.) and the northerly right-of-way line of President George Bush Turnpike (variable width R.O.W.), being the beginning of a curve to the right;

THENCE, along the easterly right-of-way line of Firewheel Parkway as follows:

Northeasterly, along said curve to the right through a central angle of 42 degrees 47 minutes 25 seconds, a radius of 890.00 feet, an arc length of 664.68 feet, a chord bearing of North 16 degrees 31 minutes 22 seconds East and a chord distance of 649.34 feet to a point;

North 37 degrees 53 minutes 11 seconds East, a distance of 71.40 feet to a "Mag-Nail" with washer stamped "Firewheel Lofts RPLS 5199" set for the POINT OF BEGINNING;

THENCE, continuing along said easterly right-of-way as follows:

North 37 degrees 53 minutes 11 seconds East, a distance of 164.96 feet to a 5/8" iron rod with a 3-1/4" aluminum disk stamped "Firewheel Lofts RPLS 5199" set for the beginning of a curve to the left;

Along said curve to the left through a central angle of 23 degrees 10 minutes 34 seconds, a radius of 1010.00 feet, an arc length of 408.54 feet, a chord bearing of North 26 degrees 17 minutes 55 seconds East and a chord distance of 405.77 feet to a concrete monument with a 3-1/4" aluminum disk stamped "Firewheel Lofts RPLS 5199" set;

THENCE, departing the easterly right-of-way line of Firewheel Parkway, over and across said 100.348 acre and said 99.694 acre tracts along a new line of division as follows:

South 68 degrees 06 minutes 02 seconds East, a distance of 232.89 feet to a 5/8" iron rod with a 3-1/4" aluminum disk stamped "Firewheel Lofts RPLS 5199" set;

North 82 degrees 03 minutes 43 seconds East, a distance of 105.02 feet to a 5/8" iron rod with a 3-1/4" aluminum disk stamped "Firewheel Lofts RPLS 5199" set;

North 82 degrees 03 minutes 43 seconds East, a distance of 276.96 feet to a 5/8" iron rod with a 3-1/4" aluminum disk stamped "Firewheel Lofts RPLS 5199" set;

South 07 degrees 56 minutes 17 seconds East, a distance of 188.31 feet to a 5/8" iron rod with a 3-1/4" aluminum disk stamped "Firewheel Lofts RPLS 5199" set;

South 56 degrees 00 minutes 21 seconds East, a distance of 163.65 feet to a 5/8" iron rod with a 3-1/4" aluminum disk stamped "Firewheel Lofts RPLS 5199" set;

South 04 degrees 44 minutes 32 seconds West, a distance of 109.66 feet to a concrete monument with a 3-1/4" aluminum disk stamped "Firewheel Lofts RPLS 5199" set;

South 47 degrees 14 minutes 05 seconds East, a distance of 82.94 feet to a 5/8" iron rod with a 3-1/4" aluminum disk stamped "Firewheel Lofts RPLS 5199" set;

South 07 degrees 56 minutes 17 seconds East, a distance of 109.60 feet to a 5/8" iron rod with a 3-1/4" aluminum disk stamped "Firewheel Lofts RPLS 5199" set;

South 82 degrees 03 minutes 43 seconds West, a distance of 843.83 feet to a 5/8" iron rod with a 3-1/4" aluminum disk stamped "Firewheel Lofts RPLS 5199" set;

North 52 degrees 06 minutes 49 seconds West, a distance of 340.07 feet to the POINT OF BEGINNING and containing 513,720 square feet or 11.793 acres of land more or less.

OWNER'S DEDICATION

NOW THEREFORE, KNOW ALL BY THESE PRESENTS:

That VALLEY CREEK/STATE HIGHWAY 190 PARTNERS L.P., L&S LAND COMPANY, LTD. and MVB ASSOCIATES, LTD., the owners of the property described in this plat, acting by and through their duly authorized agents, do hereby adopt this plat, designating the property as FIREWHEEL LOFTS, an addition to the City of Garland, Dallas County, Texas and do hereby dedicate, in fee simple and to the public use forever, the streets and alleys shown thereon and does further dedicate to the public use forever the easements shown thereon for the purposes indicated. All easements dedicated by this plat shall be open to, without limitation, all public and private utilities using or desiring to use the same for the purposes dedicated. No building, fence, tree, shrub, or other structure, improvement or growth shall be constructed, reconstructed or placed upon, over or across any easement dedicated by this plat. Any public or private utility shall have: (1) the right to remove and keep removed all or any part of any building, fence, tree, shrub, or other structure, improvement or growth which in any way may endanger or interfere with the construction, reconstruction, maintenance, operation or efficiency of such utility; and (2) the right of ingress and egress to or from and upon such easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining and adding to, enlarging, or removing all or parts of its operation without the necessity at any time of procuring the permission of anyone. The maintenance of paving on utility easements and fire lanes is the responsibility of the property owner.

All utility easements dedicated by this plat shall also include an additional area of working space for construction, reconstruction, additions, enlargements, and maintenance including such additional area necessary for installation and maintenance of manholes, cleanouts, fire hydrants, water services and wastewater services from the main to the curb or pavement line.

The City reserves the right to require minimum finished floor elevations on any lot contained within this addition. The minimum elevations shown are based on the most current information available at the time the plat is filed and are subject to change.

The undersigned does covenant and agree that the access easement(s) dedicated on this plat may be utilized by any person, including the general public, for ingress and egress to other real property, for both vehicular and pedestrian use and access, in, along, upon and across the premises containing the access easement(s). This plat approved subject to all applicable ordinances, rules, regulations and resolutions of the City of Garland, Texas.

WITNESS, my hand at _____, Texas this the ____ day of _____, 2019.

VALLEY CREEK/STATE HIGHWAY 190 PARTNERS L.P., a Texas limited partnership

By: Sunrise Partners, LLC, a Texas limited liability company,
its General Partner

By: _____
Michael A. Reilly, Manager

STATE OF TEXAS §
COUNTY OF _____ §

BEFORE me, the undersigned authority, a Notary Public for the State of Texas, on this day personally appeared MICHAEL A REILLY, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ____ day of _____, 2019.

Notary Public in and for the State of Texas

WITNESS, my hand at _____, Texas this the ____ day of _____, 2019.

L&S LAND COMPANY, LTD., a Texas limited partnership

By: L&S Partners, LLC, Texas limited liability company,
its General Partner

By: _____
R.J. Grogan, Jr., Vice President

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE me, the undersigned authority, a Notary Public for the State of Texas, on this day personally appeared R.J. GROGAN, JR., known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ____ day of _____, 2019.

Notary Public in and for the State of Texas

WITNESS, my hand at _____, Texas this the ____ day of _____, 2019.

MVB ASSOCIATES, LTD., a Texas limited partnership

By: MVB Group, LLC, a Texas limited liability company,
its General Partner

By: _____
George W. Baldwin, Manager

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE me, the undersigned authority, a Notary Public for the State of Texas, on this day personally appeared R.J. GROGAN, JR., known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ____ day of _____, 2019.

Notary Public in and for the State of Texas

SURVEYOR'S AFFIRMATION

I, DOUGLAS S. LOOMIS, a Registered Professional Land Surveyor, licensed by the State of Texas, affirm that this plat was prepared under my direct supervision, from recorded documentation, evidence collected on the ground during field operations and other reliable documentation; and that this plat substantially complies with the Rules and Regulations of the Texas Board of Professional Land Surveying, Texas Local Government Code, Chapter 212, and the subdivision rules and regulations of the City of Garland, Texas. I further affirm that monumentation shown hereon was either found or placed and is in substantial compliance with the City of Garland Development Code; and that the digital drawing file accompanying this plat is a precise representation of this Signed Final Plat.

Dated this the ____ day of _____, 2019.

RELEASED 9/11/2019 FOR REVIEW PURPOSES ONLY. THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE.
Douglas S. Loomis
Texas Registered Professional Land Surveyor No. 5199

STATE OF TEXAS §
COUNTY OF DALLAS §

BEFORE me, the undersigned authority, a Notary Public for the State of Texas, on this day personally appeared DOUGLAS S. LOOMIS, known to me to be the person whose name is subscribed to the forgoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the ____ day of _____, 2019.

Notary Public in and for the State of Texas

CITY APPROVAL

Approved and accepted for the City of Garland this the ____ day of _____, 2019, by the City Plan Commission of the City of Garland, Texas.

Chairman of the City Plan Commission

Director of Planning Department

The approval of this plat is contingent upon the plat being filed with the County Clerk of Dallas County within 180 days from the above date.

SPACE RESERVED FOR COUNTY
RECORDING LABEL

FINAL PLAT
FIREWHEEL LOFTS
LOT 1, BLOCK 1
11.7934 ACRES
out of the
DANIEL CRIST SURVEY, ABSTRACT No. 226
CITY OF GARLAND, DALLAS COUNTY, TEXAS

CASE NO. 180208-3

OWNER 1:
VALLEY CREEK/
STATE HIGHWAY 190 PARTNERS L.P.
c/o REILLY BROTHERS PROPERTY CO.
1017 S. F.M. Highway 5
Aledo, Texas 76008

OWNER 2:
L&S LAND COMPANY, LTD.
c/o George W. Baldwin
2808 Fairmount
Suite 150
Dallas, Texas 75201

OWNER 3:
MVB ASSOCIATES, LTD.
c/o George W. Baldwin
405 N. Central Expressway
Suite 307
Dallas, Texas 75225

APPLICANT/ENGINEER:
DEVELOPMENT ENGINEERING
CONSULTANTS, LLC
405 State Highway 121
Suite A250
Lewisville, Texas 75067
(469) 444-3850

PROJECT INFORMATION
Date of Survey: 2/22/2018
Job Number: 1920401
Drawn By: W.J.J./a.l.b.
Date of Drawing: 8/16/2019
File: 1920401 Plat-Prelim.Dwg
SHEET 2 OF 2



903 N. Bowser Road, Suite 240
Richardson, Texas 75081
(972) 424-7002 Voice
(972) 633-1702 Fax
WWW.SurveyConsultantsInc.com
TBPLS Firm No. 10139600



GARLAND

Plan Commission

3. a.

Meeting Date: 09/23/2019

Item Title: Z 19-26, DD 19-02, and HC 19-01 Brian Cole Henson (District 2)

Summary:

Consideration of the application of **Brian Cole Henson**, requesting approval of 1) a Change in Zoning from Single-Family-7 (SF-7) District to Downtown (DT) District with Uptown (U) Sub-District; 2) a Downtown Development Plan for a Social Service Facility/Agency Use, Medical Clinic Use and Dwelling, Accessory- Guard/Manager/Caretaker; 3) a House Conversion from a Residential Use to a Non-Residential Use; and 4) a Major Waiver to allow a Freestanding Sign; and 5) a Major Waiver to establish the property with existing improvements. This property is located at 920 West Avenue D. (District 2) (File Z 19-26, DD 19-02 and HC 19-01)

Attachments

Z 19-26, DD 19-02, and HC 19-01 Brian Cole Henson Report and Attachments

Planning Report



GARLAND
TEXAS MADE HERE

File No: Z 19-26, DD 19-02 and HC 19-01/District 2

Agenda Item:

Meeting: Plan Commission

Date: September 23, 2019

REQUEST

Approval of 1) a Change in Zoning from Single-Family-7 (SF-7) District to Downtown (DT) District, Uptown Sub-District; 2) a Downtown Development Plan for a Social Service Facility/Agency Use, Medical Clinic Use and a Dwelling, Accessory-Guard/Manager/Caretaker; 3) a House Conversion from a Residential Use to a Non-Residential Use; 4) a Major Waiver to allow a Freestanding Signage and 5) a Major Waiver to establish the property with existing improvements.

LOCATION

920 West Avenue D

APPLICANT

Brian Cole Henson

OWNER

Brian Cole Henson

BACKGROUND

The subject property is currently developed with a two-story, single-family home and a one-story accessory dwelling unit. The single-family home was built in 1917 and is 2,946 square-feet in size and the accessory dwelling is 750 square feet. The new owner purchased the property in 2018 and would like to open a non-profit pregnancy center for the community at no cost. The essential services include but are not limited to social services and a medical clinic.

The applicant would like to use the existing 2,946 square-foot single-family home as a Social Service Facility/Agency and Medical Clinic. The owner intends to live in the 750 square-foot Dwelling, Accessory-Guard/Caretaker.

The pregnancy center will operate from Monday to Friday from 9:00 a.m. to 5:00 p.m. However, the owners will be living in the accessory dwelling. The intention is to educate and assist pregnant women with classes and limited medical service. The proposed pregnancy center will not provide labor service.

SITE DATA

The subject property contains approximately 0.430 acres, and has approximately 150 lineal feet of frontage along West Avenue D and 125 lineal feet of frontage along South Tenth Street. The site is accessible from West Avenue D and South Tenth Street.

USE OF PROPERTY UNDER CURRENT ZONING

The subject property is zoned Single-Family-7 (SF-7) District. The Single-Family-7 (SF-7) District is intended to provide for development of primarily low-density detached single-

family residences on a variety of lot sizes, churches, schools, and public parks in logical, livable, and sustainable neighborhoods.

CONSIDERATIONS

Zoning Change

1. The Change in Zoning to Downtown (DT) District, Uptown Sub-District, will allow the applicant operate out of the existing single-family home on the subject property and provide pregnancy care services to the community of Garland.
2. The request is a traditional rezoning without the formation of a Planned Development (PD) District. These requests do not require a Detail Plan approval to commence or direct development. The GDC requires careful consideration as to how closely the proposed district follows the policies of the Envision Garland 2030 Comprehensive Plan, and to what degree the rezoning will impact surrounding and future development.
3. The Single-Family-7 (SF-7) District is intended to provide for development of primarily low-density detached single-family residences on a variety of lot sizes, churches, schools, and public parks in logical, livable, and sustainable neighborhoods.
4. The purpose of the Downtown (DT) district is to establish a pedestrian-oriented district with an infrastructure of streets and buildings that are flexible in terms of use, and that will attract ongoing reinvestment.
5. The Uptown (U) sub-district consists of mixed-use office, retail and urban lifestyle housing. It may have a wide range of residential building types: townhouses, live/work, apartments, condominiums and lofts. Setbacks and landscaping are variable. Streets with dense street tree coverage and sidewalks define medium-sized blocks.

Downtown Development Plan

1. The applicant would like to use the existing single-family home to open a non-profit pregnancy center for the community. The pregnancy center will offer limited medical services to pregnant women as well as educational classes for new parents.

Pregnancy Care Services:

- Pregnancy and Prenatal care
- Sexual Risk Education
- Pregnancy Test
- Limited Ultrasound
- Adoption Information
- Family Planning
- Limited STD/STI Testing
- Referrals to Community Resources
- Parenting Skill Training
- Material Resources
- Decision Coaching

- Educational Classes
 - Fatherhood Coaching
2. The pregnancy center will not offer overnight stay for any patients. However, the owners will be living in the existing Dwelling Accessory-Guard/Caretaker which is located on the southwestern portion of the subject site. The Dwelling, Accessory-Guard/Caretaker is 750 square feet.
 3. Per the GDC, thirteen (13) parking spaces are required for the proposed uses. The applicant has secured a shared parking agreement to help satisfy the parking requirements, as First Presbyterian Church has agreed to share eight (8) parking spaces. The remaining parking spaces are proposed to be on-street parking, with South Tenth Street being immediately adjacent to the property. In addition, there are existing DART bus stops near Avenue B and Tenth Street, Avenue D and Twelfth Street, and Glenbrook and Avenue C.
 4. The applicant is also proposing a 5-foot, 5-inches freestanding monument sign along West Avenue D. A monument sign is not permitted in the Downtown District. Therefore, the applicant is requesting a Major Waiver. The proposed monument sign complies with the setbacks and size requirements per the GDC.
 5. The applicant is also requesting a Major Waiver to establish the property with existing improvements. The property was developed prior to the GDC. Therefore, it is likely the subject property is nonconforming in the Downtown District. The Major Waiver will allow the subject property to continue be used in its existing condition.
 6. The applicant does not intend to make any significant improvements to the existing site layout. Therefore, it does not trigger the building design standards or the screening and landscaping standards of the GDC.
 7. The intent of the Downtown (DT) District is to create a pedestrian-oriented area in context with the current Downtown. Further, it is to enhance property values, and to improve the overall perception of Downtown. The Downtown (DT) District combines minimum and maximum specifications and standards for site layout, building design, and streetscape. It also provides flexibility to allow response to market demands. These demands may include proposals such as this application that may result in development sparking interest and investment in the Downtown area. One of the flexibility mechanisms in the Downtown (DT) District is the option of Major Waivers, which allow relief from the standards of the District.

House Conversion

1. Section 2.52 of the GDC states no building or portion of a building that is designed, constructed, or used as a residence may be converted to a nonresidential use of any type unless expressly provided for in this GDC.
 - Compliance with City Codes. A residential building may not be converted to a nonresidential use unless the proposed use, the building, and the lot on which the building is located conform to all applicable ordinances. If in complete conformance with all City Codes, the building may be approved for conversion subject to all applicable provisions of this Subsection 2.52(A)(4).

- In a Nonresidential Zoning District. Subject to above Subsection (a), a residential building in a nonresidential zoning district may be converted to a nonresidential use. The Building Official may issue a Certificate of Occupancy for nonresidential use in a residential building in a nonresidential zoning district.
 - In a Residential Zoning District. In a residential zoning district, the City Council may approve the conversion after receiving a recommendation thereon from the Plan Commission and after conducting a public hearing on the matter.
2. Any remodeling to the existing buildings will require building permits. The applicant must also comply with the 2015 International Building Code.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland 2030 Comprehensive Plan designates the subject property Traditional Neighborhoods. Traditional Neighborhoods are currently found throughout Garland and provide areas for low to moderate density single-family detached residential housing. Traditional Neighborhoods also accommodate convenience retail (goods and services), office space, and public services.

The Traditional Neighborhood development type is primarily characterized as low density, single-family detached (between one and six dwelling units per acre); Single-Family-10 (SF-10) District yields approximately 4.3 units per acre. The proposed use is compatible with the Future Land Use Map of the Envision Garland 2030 Comprehensive Plan.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The surrounding properties are primarily developed with single-family homes and a church. The property to the north is zoned Downtown (DT) District, particularly in the Uptown (U) Sub-district and it is developed with a church. The property to the east is zoned Single-Family-7 (SF-7) District and it is developed with a single-family home. The properties to the south and west are zoned Single-Family-7 (SF-7) District and they are developed with single-family homes.

The Uptown (U) Sub-district is currently located directly to the north of the subject site across Avenue D, while another Downtown District [Suburban Corridor] is located to the east of the subject site along the south side of Avenue D and east of Ninth Street. However, consideration should be given regarding the residential character of the immediate area. The applicant proposes to change the use of the property but maintain the existing buildings and general site conditions in keeping with the residential neighborhood. Should the Commission wish to condition the request to the applicant's specific proposal, a Planned Development (PD) may be considered.

STAFF RECOMMENDATION

Staff recommends approval of 1) a Change in Zoning from Single-Family-7 (SF-7) District to Downtown (DT) District, Uptown Sub-District; 2) a Downtown Development Plan for a Social Service Facility/Agency Use, Medical Clinic Use and a Dwelling, Accessory-Guard/Manager/Caretaker; 3) a House Conversion from a Residential Use to a Non-

Residential Use; 4) a Major Waiver to allow a Freestanding Signage and 5) a Major Waiver to establish property with existing improvement. However, as mentioned in the Compatibility section above, a Planned Development (PD) would further condition the applicant's proposal and thus reduce future concerns of potentially less compatible proposals following Uptown (U) Sub-district standards.

ADDITIONAL INFORMATION

Location Map

Exhibits

Photos

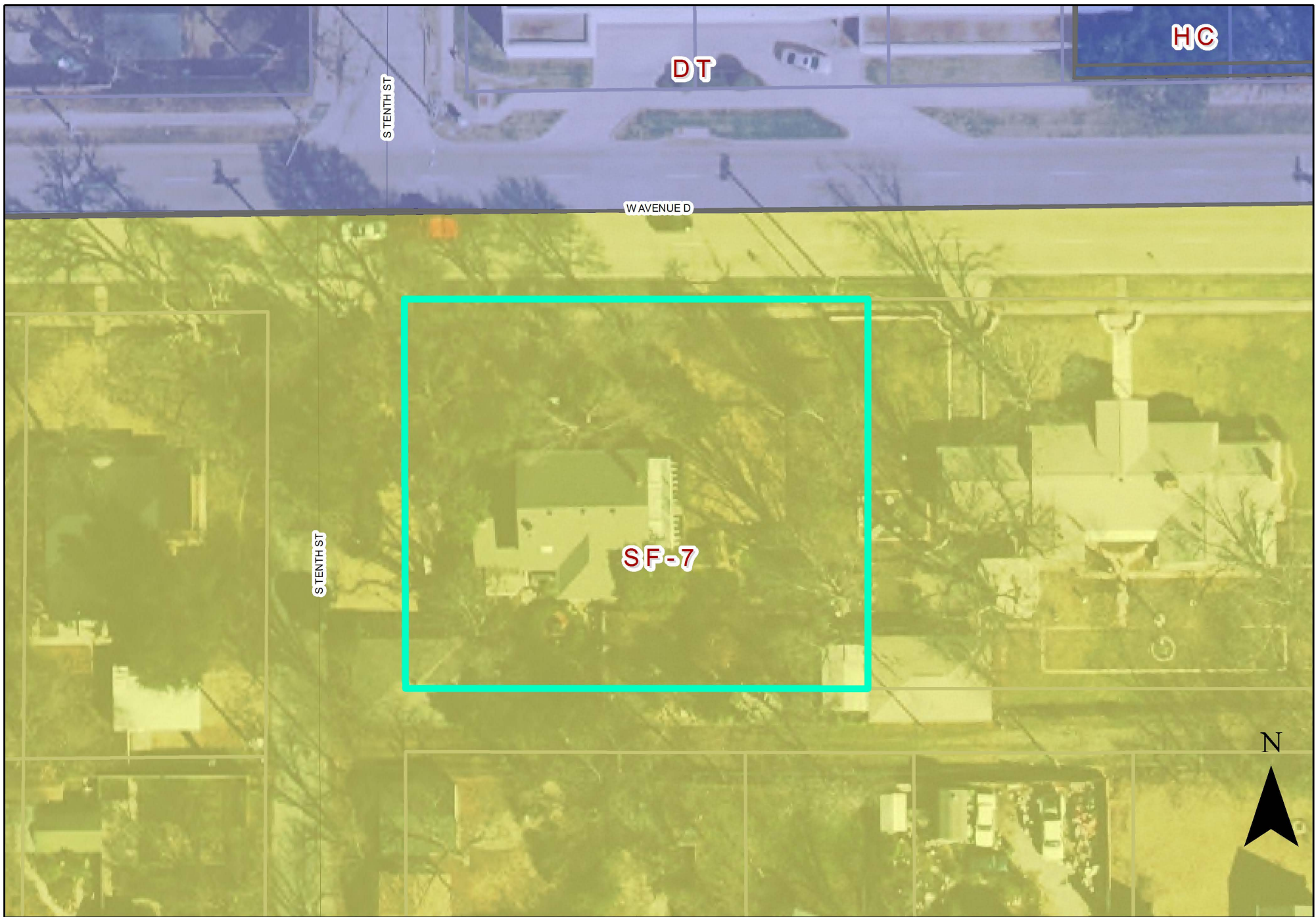
CITY COUNCIL DATE: October 22, 2019

PREPARED BY:

Nabiha Ahmed
Development Planner
Planning & Community Development
972-205-2453
nahmed@garlandtx.gov

REVIEWED BY:

Will Guerin, AICP
Director of Planning



0 30 60 Feet
1 inch = 41 feet

Zoning Map Z 19-26



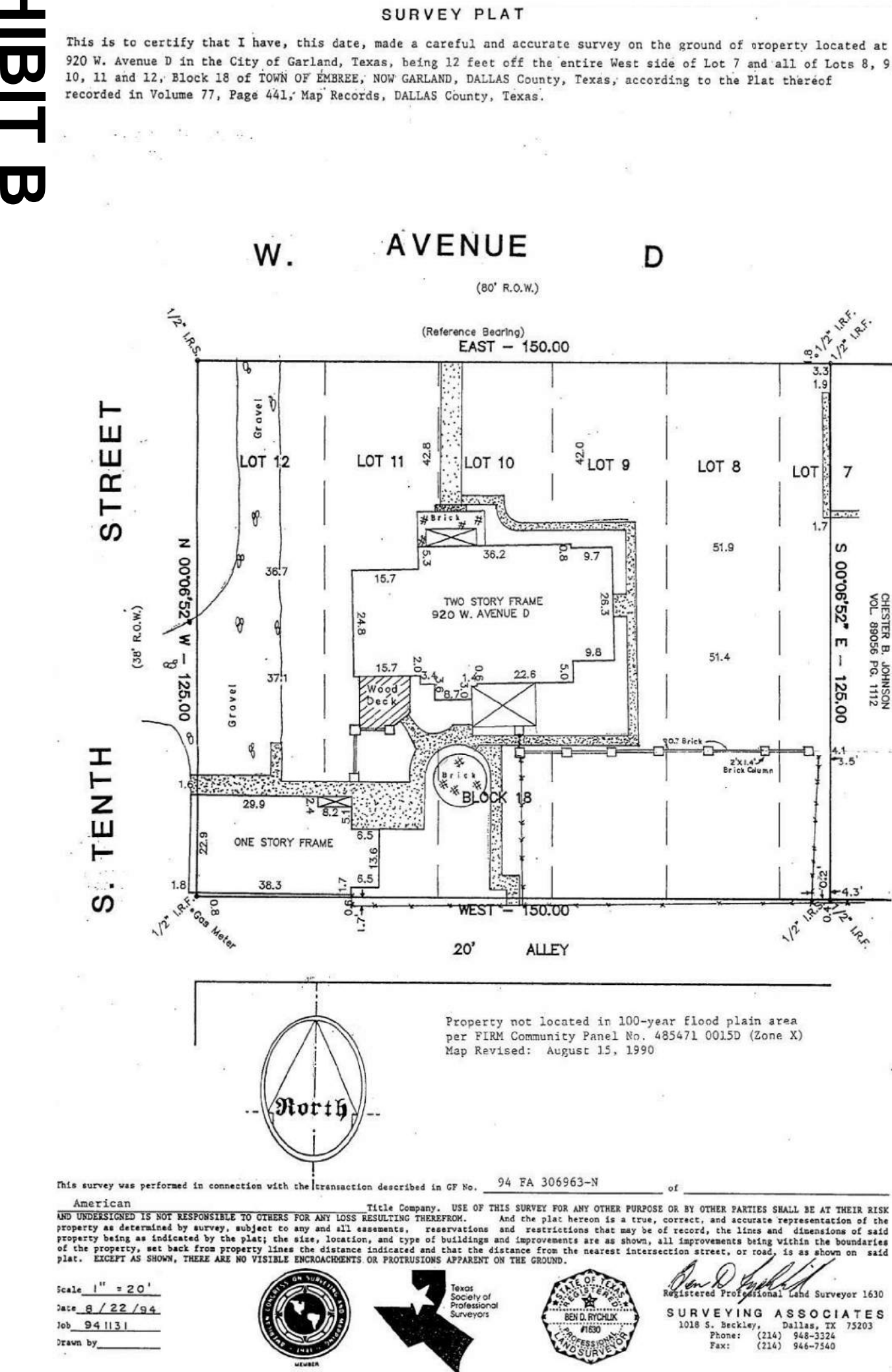
INDICATES AREA
OF REQUEST

MAJOR WAIVER TO THE DOWNTOWN DEVELOPMENT STANDARDS REQUESTED:

- 1. SIGNAGE
- 2. ESTABLISH PROPERTY WITH EXISTING IMPROVEMENTS

- LANDSCAPING: Existing to remain (includes screening, fencing, and streetscape).
- BUILDING: Building structures to remain, no new construction proposed.
- MATERIAL CALCULATION: Approx. 3,500 SF of Wood Siding and 1,000 SF of Windows (Existing)
- SIGNAGE: Free-standing monument sign facing W Ave D, refer Sheet A03.
- WAIVER: A Major Waiver is requested due to existing conditions.
- NOT APPLICABLE: Traffic Impact and Engineering Drawings not required.

EXHIBIT B



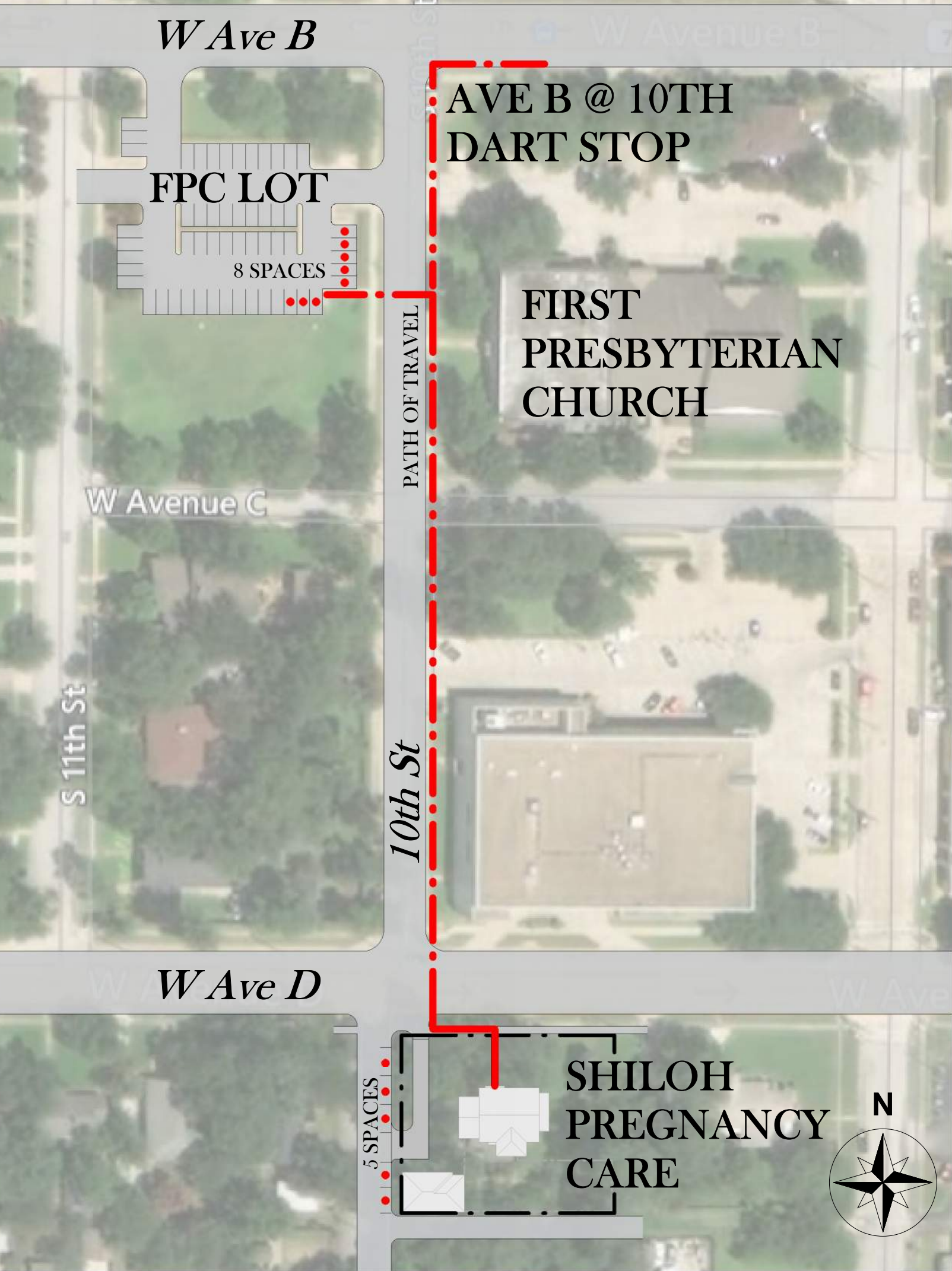
PROPOSED PARKING

- TOTAL PARKING REQUIRED: 13 SPACES
- TOTAL PARKING PROVIDED: 13 SPACES
 - 5 spaces on-site, 8 spaces off-site

PROPOSED USES

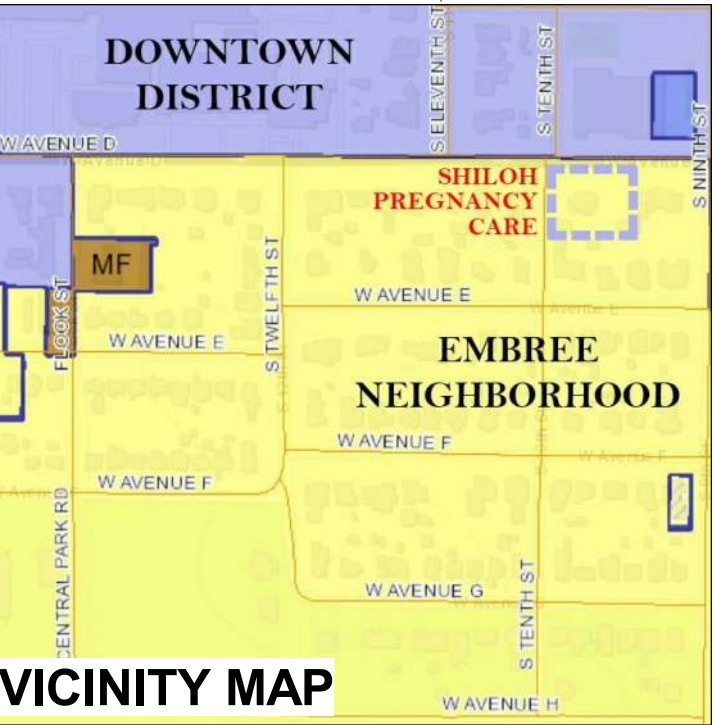
- Residential: Dwelling Accessory - Guard/Manager/Caretaker
 - Parking: 2 spaces are required / provided.
- Human Services Use: Social Service Facility (FIRST FLOOR - 2,000 SF)
 - Parking: 2,000 sf will be designated for this use. At 1/300 gfa, 7 spaces are required / provided.
- Medical & Health Service Use: Medical Clinic (SECOND FLOOR - 946 SF)
 - Parking: 946 sf will be designated for this use. At 1/250 gfa, 4 spaces are required / provided.

Per the 8/29 Technical Review Meeting, City of Garland Transportation team has supported Shiloh Pregnancy Care's request to utilize a *shared parking agreement with First Presbyterian Church* in order to meet the parking requirements. This option is in lieu of providing parking on-street along Ave D and also in lieu of repaving the existing gravel driveway on site for parking.



SHILOH PREGNANCY CARE
A non-profit pregnancy care center serving the Garland community

A01



PRE-SUBMITTAL # 190730-1

PROJECT TITLE:	SHILOH PREGNANCY CARE
DATE:	08-12-2019 [REVISED 09-02-2019]
PROJECT ADDRESS:	920 W AVE D, GARLAND TX 75040
EXISTING ZONING:	SF-7 (SINGLE FAMILY 7)
PROPOSED ZONING:	DT (DOWNTOWN) - U (UPTOWN)
OWNER (APPLICANT):	BRIAN COLE HENSON
PLAN PREPARER:	BRIAN COLE HENSON, ARCHITECT
COMPANY NAME:	SHILOH PREGNANCY CARE
ADDRESS/PHONE:	940-867-7488 (ADDRESS SAME)

③ SITE PLAN SURVEY
1" = 30'-0"

② SHARED PARKING PLAN
1" = 80'-0"

① PROPOSED SITE PLAN
1/16" = 1'-0"



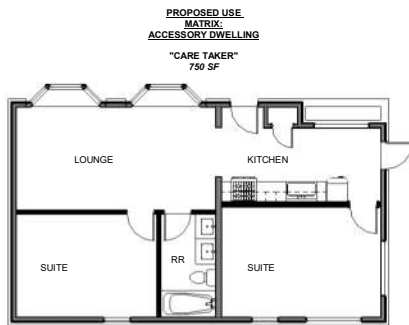
SHILOH PREGNANCY CARE
A non-profit pregnancy care center serving the Garland community

A03

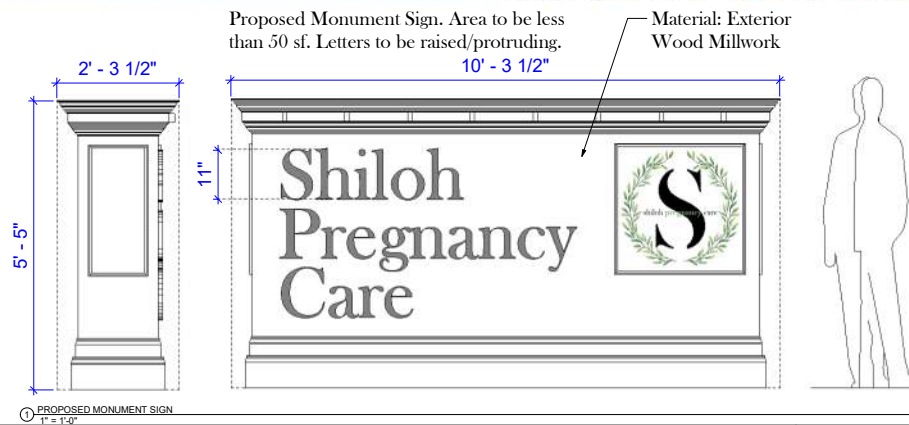


PRE-SUBMITTAL #
190730-1

PROJECT TITLE:	SHILOH PREGNANCY CARE
DATE:	08-12-2019 (REVISED 09-02-2019)
PROJECT ADDRESS:	920 W AVE D, GARLAND TX 75040
EXISTING ZONING:	SF-7 (SINGLE FAMILY 7)
PROPOSED ZONING:	DT (DOWNTOWN) - U (UPTOWN)
OWNER (APPLICANT):	BRIAN COLE HENSON
PLAN PREPARER:	BRIAN COLE HENSON, ARCHITECT
COMPANY NAME:	SHILOH PREGNANCY CARE
ADDRESS/PHONE:	940-867-7488 (ADDRESS SAME)



PROPOSED ACCESSORY DWELLING
PLAN
3/16" = 1'-0"



Z 19-26/ DD 19-02/HC 19-02



View of the subject property from West Avenue D



West of subject property from South Tenth Street



East of the subject property from West Avenue D



South of subject property from West Avenue D



GARLAND

Plan Commission

3. b.

Meeting Date: 09/23/2019

Item Title: Z 19-28 CDS Development Services (District 4)

Summary:

Consideration of the application of **CDS Development Services**, requesting approval of a Specific Use Provision for a Restaurant, Drive Through on a property zoned Community Retail (CR) District. This property is located at 5724 Broadway Blvd. (District 4) (File Z 19-28)

Attachments

Z 19-28 CDS Development Services Report and Attachments

Planning Report

File No: Z 19-28/District 4

Agenda Item:

Meeting: Plan Commission

Date: September 23, 2019



GARLAND

TEXAS MADE HERE

REQUEST

Approval of a Specific Use Provision for a Restaurant, Drive Through on a property zoned Community Retail (CR).

LOCATION

5724 Broadway Blvd.

APPLICANT

CDS Development Services

OWNER

Spirit Master Funding X, LLC

BACKGROUND

The applicant is requesting approval to allow the operation of a Restaurant/Drive Through within a 2,549 square-foot existing building on a 0.6579-acre site.

SITE DATA

The site contains approximately 0.6579 acres with approximately 140 lineal feet of frontage along Broadway Boulevard and 215 lineal feet along Castleglen Drive, which are used as access points to and from the property.

USE OF PROPERTY UNDER CURRENT ZONING

The Community Retail (CR) District is intended to accommodate a variety of retail, service, and business establishments that may or may not be designed in a shopping center configuration. The district may be used as a transition district between lower intensity retail or office uses and more intense uses. A CR District is generally appropriate along major transportation corridors but is generally not appropriate in proximity to low-density residential districts without significant buffering and screening features. An example of allowed use in a CR District is a retail shopping area that may be large in scale with very limited or no outside storage. Traffic generated by uses in a CR District must be focused onto the major thoroughfare network. Development in a CR District may not be designed in a manner that increases traffic through residential areas.

The applicant intends to redevelop an existing drive-through restaurant into a Popeyes drive-through restaurant. The Restaurant, Drive-Through requires a Specific Use Provision in the Community Retail (CR) District.

CONSIDERATIONS

Specific Use Provision

1. The applicant proposes to redevelop an existing 2,529 square-foot building on a 0.6579-acre area to a Restaurant, Drive Through (Popeyes). The improvements would include façade and interior improvements to define the Popeyes signature design, as well as additional site landscaping.

The applicant proposes the following business operations:

Normal Dining Hours

- ❑ 10:30am – 10:00pm Monday through Sunday

Drive-Thru Hours

- ❑ 10:30am – 11:00pm Monday through Sunday

2. The Garland Development Code (GDC) establishes a parking ratio of one (1) space for every 100 square feet of gross floor area. Twenty-six (26) parking spaces are required (including handicap parking) and are located on site serving the proposed 2,529-square foot Restaurant, Drive-Through.
3. The design of the building complies with the applicable building design regulations of Garland Development Code.
4. Full landscaping and screening compliance is not triggered by this request. However, the applicant will maintain the existing landscaping on the site as well as provide some enhanced landscaping, such as additional trees in the parking area, reflected in the Landscape Plan (Exhibit D).
5. The applicant intends to use and re-face the existing nonconforming pole sign on the property. The applicant has not requested any deviations regarding attached wall signage; therefore, wall signage will comply with the Garland Development Code (GDC).
6. The applicant requests the SUP to be in effect for a period of twenty (20) years.

COMPREHENSIVE PLAN

The Future Land Use Map of the Envision Garland Plan recommends Neighborhood Centers for the subject property. Neighborhood Centers provide a mix of retail, services and community gathering places appropriately scaled to adjacent residential areas.

COMPATIBILITY OF REQUEST WITH SURROUNDING ZONING AND LAND USES

The property directly to the north of the subject property is zoned Community Retail (CR) District and S 98-25 for Community Retail Uses; these properties are developed as retail and other commercial uses. The properties to the west of the subject property at the intersection of Broadway Boulevard and Castleglen Drive are zoned Community Retail (CR) and S 06-03 for Community Retail Uses; these properties are developed as retail and other commercial uses. The properties to the south of the subject property are zoned Commercial District (CR) and Planned Development (PD District 06-21) for Community Retail Uses; these properties are developed with retail uses.

STAFF RECOMMENDATION

Approval of a Specific Use Provision for a Restaurant, Drive Through on a property zoned Community Retail (CR) for a period of twenty (20) years.

ADDITIONAL INFORMATION

- i. Location Map
- ii. SUP Conditions
- iii. Photos

CITY COUNCIL DATE: October 22, 2019

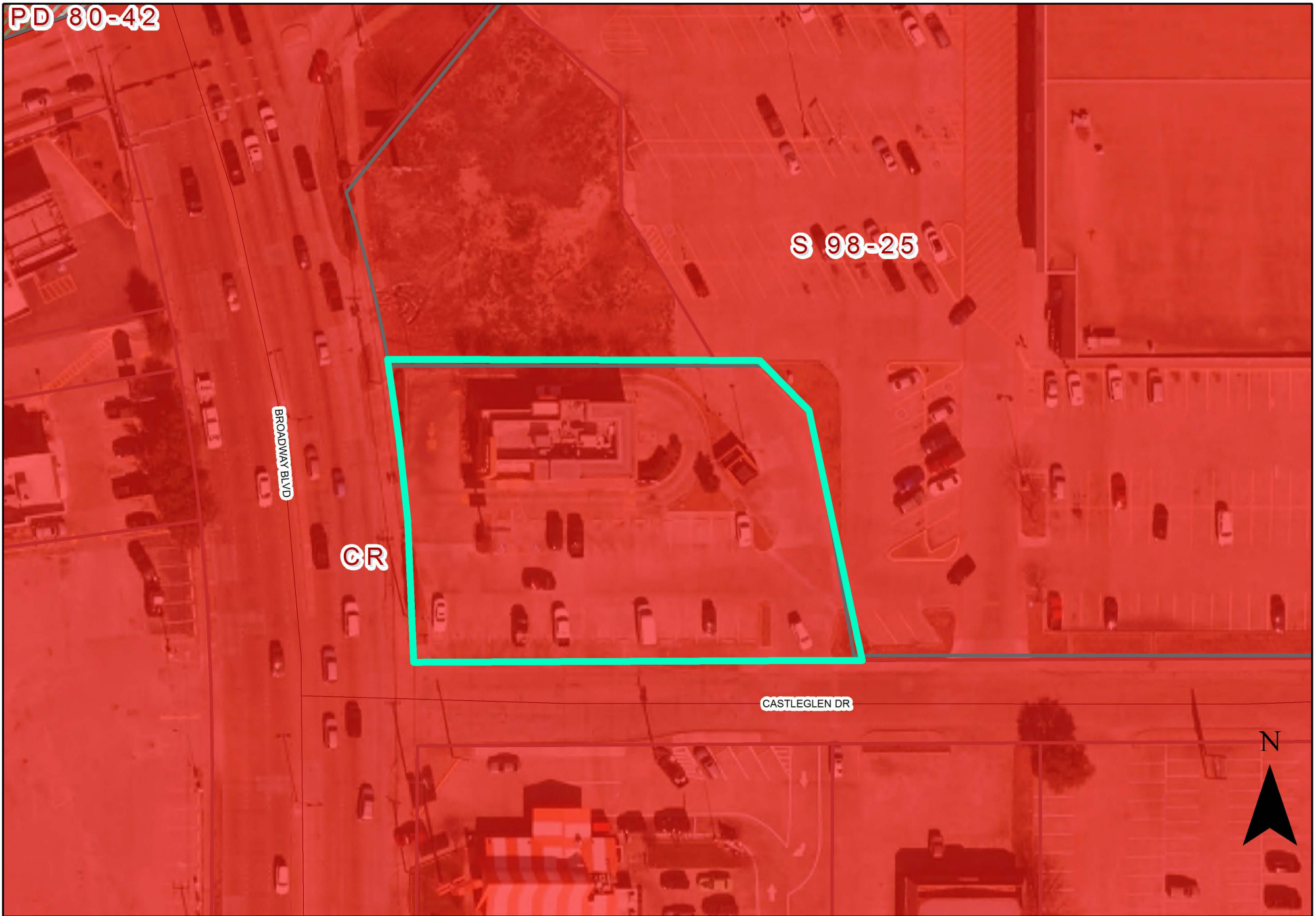
PREPARED BY:

Kimberly Hopkins
Development Planner
Planning & Community Development
972-205-2454
khopkins@garlandtx.gov

REVIEWED BY:

Will Guerin, AICP
Director of Planning

PD 80-42



0 35 70 Feet
1 inch = 61 feet

Zoning Map Z 19-28



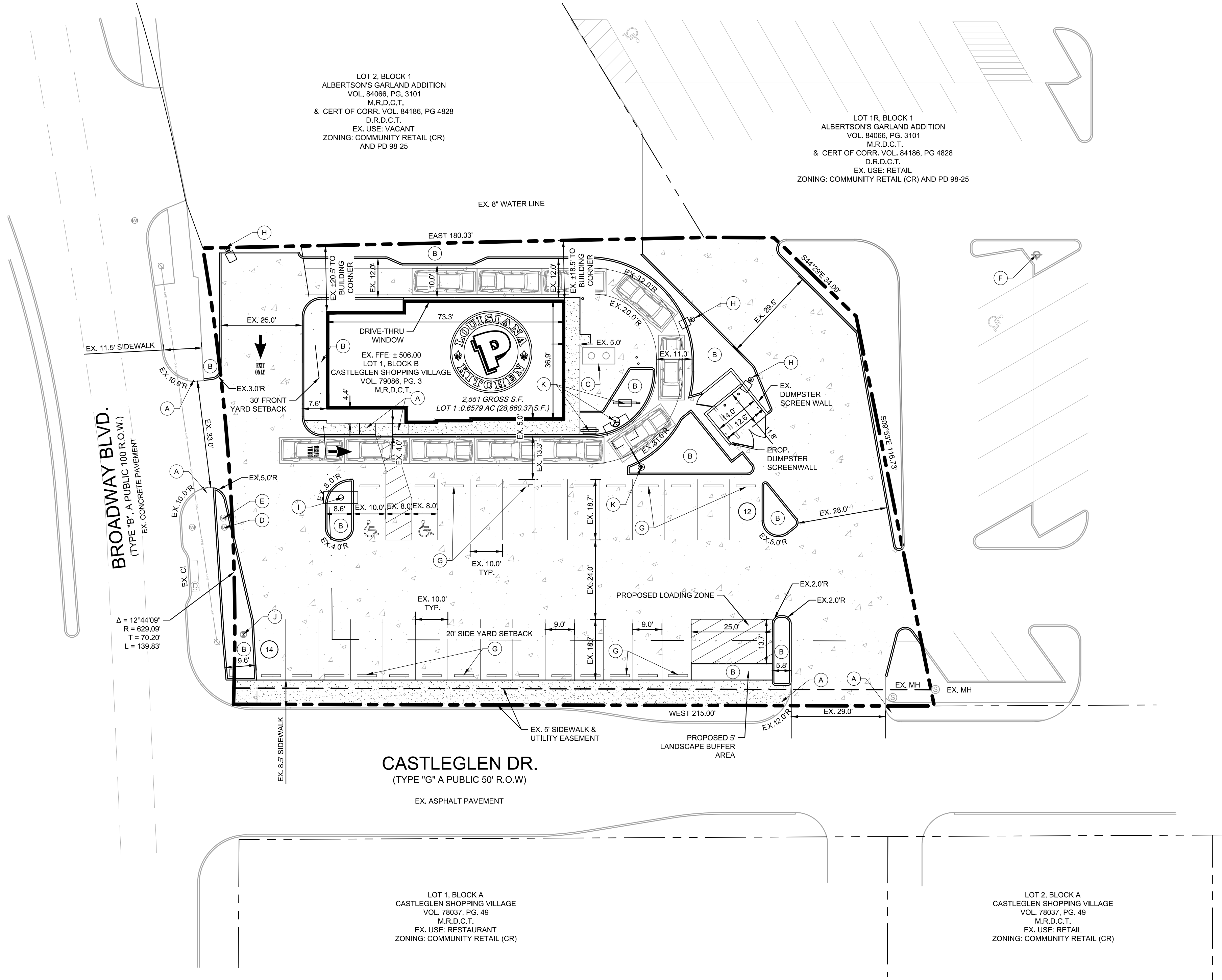
INDICATES AREA
OF REQUEST

SPECIFIC USE PROVISION CONDITIONS

ZONING FILE Z 19-28

5724 Broadway Boulevard

- I. Statement of Purpose:** The purpose of this Specific Use Provision is to allow Restaurant, Drive-Through.
- II. Statement of Effect:** This Specific Use Provision shall not affect any regulation found in the Garland Development Code, Ordinance No. 6773, as amended prior to adoption of this ordinance, except as specifically provided herein.
- III. General Regulations:** All regulations of the Community Retail (CR) District as set forth in Chapter 2 of the Garland Development Code, Ordinance 6773, are included by reference and shall apply, except as otherwise specified by this ordinance.
- IV. Development Plans:**
 - A. Development:** Development is to be in general conformance with the approved site plan, landscape plan and building elevations labeled Exhibit C, Exhibit D and Exhibit E. In the event of conflict between the conditions and development plans, the conditions listed below are to apply.
- V. Specific Use Provision:**
 - A. SUP Time Period:** The Specific Use Provision for Restaurant, Drive-Through shall be in effect for a period of twenty (20) years.
 - B. Site Layout:** The Restaurant, Drive-Through operation shall be in conformance with the site layout in Exhibit C.
 - C. Landscaping and Screening:** Landscaping and screening shall be in conformance with Exhibit D.
 - D. Building Elevations:** Building elevations shall be in general conformance with Exhibit E.
 - E. Signage:** The existing pole sign may be re-faced without physical alteration to the structure. Wall/attached signage shall meet the requirements of the Garland Development Code.



SITE KEYNOTES	
(A)	EXISTING BARRIER FREE RAMP
(B)	LANDSCAPE AREA. REFERENCE LANDSCAPE PLANS
(C)	EXISTING GREASE TRAP TO REMAIN
(D)	EXISTING DOMESTIC METER TO REMAIN
(E)	EXISTING IRRIGATION METER TO REMAIN
(F)	EXISTING FIRE HYDRANT
(G)	EXISTING WHEEL STOPS TO REMAIN (TYP.)
(H)	EXISTING SITE LIGHTING TO REMAIN
(I)	EXISTING PYLON SIGNAGE TO REMAIN
(J)	EXISTING GAS METER TO REMAIN
(K)	PRE-ORDER BOARD, DRIVE THRU ORDER BOARD, OR HEIGHT DETECTOR. REFER TO ARCHITECTURAL PLANS FOR DETAILS

LEGEND	
	PROPERTY LINE
	EXISTING CONCRETE PAVEMENT TO REMAIN
	EXISTING CONCRETE SIDEWALK TO REMAIN
	EXISTING SANITARY SEWER PIPE
	EXISTING WATER PIPE
	EXISTING CURB INLET
	EXISTING SANITARY SEWER MANHOLE
	EXISTING FIRE HYDRANT
	EXISTING SANITARY SEWER PIPE
	EXISTING BARRIER FREE RAMP
	EXISTING RADIUS
	PARKING COUNT
	EXISTING DUMPSTER ENCLOSURE TO REMAIN

SITE DATA SUMMARY TABLE

GENERAL SITE DATA		LOT 1, BLOCK B
ZONING	COMMUNITY RETAIL (CR)	
LAND USE	RESTAURANT W/ DRIVE THRU	
LOT AREA	28,660.37 SF / 0.6579 AC	
TOTAL BUILDING AREA	2,551 SF	
BUILDING HEIGHT	1 STORY, 35' MAX.	
MAX ALLOWABLE LOT COVERAGE	40%	
LOT COVERAGE	11.23%	
FLOOR AREA RATIO	0.11:1	
PARKING		
TOTAL PARKING REQUIRED (# SPACES)	26 (1 SPACE FOR 100 SF OF RESTAURANT)	
TOTAL PARKING PROVIDED (# SPACES)	26	
ACCESSIBLE PARKING REQUIRED (# SPACES)	2	
ACCESSIBLE PARKING PROVIDED (# SPACES)	2	
LANDSCAPE AREA		
LANDSCAPE AREA REQUIRED (10.0% OF LOT AREA)	2,867 SF	
LANDSCAPE AREA PROVIDED	2,995 SF	
SQ. FT. IMPERVIOUS SURFACE	25,665 SF	

*NOTE: HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

NOTES

- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- NO LANDSCAPING SUCH AS TREES, HEDGES, ABOVE AND UNDERGROUND STRUCTURES SHALL BE LOCATED WITHIN EXISTING OR PROPOSED UTILITY EASEMENTS AND RIGHT OF WAY.
- NO CHANGES ARE PROPOSED TO THE EXISTING SITE LAYOUT WITH THIS SITE PLAN.
- ALL EXISTING SITE PAVING TO REMAIN.
- NO CHANGES ARE PROPOSED TO THE ON-SITE UTILITIES. UTILITIES SHOWN ON THIS SITE PLAN ARE FOR REFERENCE ONLY.

FLOODPLAIN NOTE

PER FEMA MAP NUMBER 48113C0380, DATED JULY 7TH, 2014 THIS SITE IS WITHIN ZONE "X". ZONE "X" IS OUTSIDE OF ANY FEMA ESTABLISHED FLOOD HAZARD ZONE FOR DALLAS COUNTY, TEXAS.

Kimley»Horn

SITE PLAN
CASTLEGLLEN SHOPPING VILLAGE
LOT 1, BLOCK B
28,660.37 S.F./0.6579 AC.
W.S. PEGUES SURVEY, ABST. 1158
PREPARED: SEPTEMBER 3, 2019
CITY PROJECT NUMBER:190711-2
ZONING CASE NUMBER: 19-28

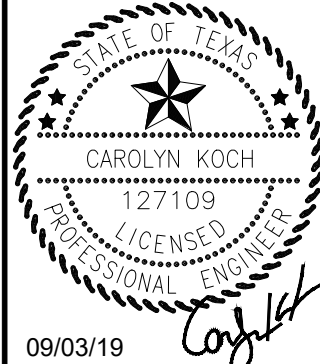
ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
6160 WARREN PARKWAY, SUITE 210
FRISCO, TX 75034
PHONE: (972) 335-3580
FAX: (972) 335-3779
CONTACT: CAROLYN KOCH, P.E.

OWNER/DEVELOPER
SUN HOLDINGS, INC.
4515 LYNDON B. JOHN FWY.
FARMERS BRANCH, TEXAS 75244
PHONE: (972) 620-2287
CONTACT: ACE FULLER

POPEYES RESTAURANT
CITY OF GARLAND
DALLAS COUNTY, TEXAS

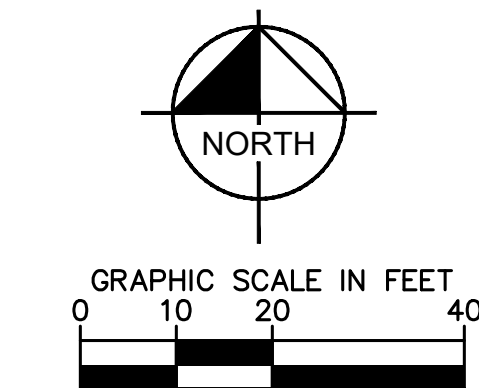
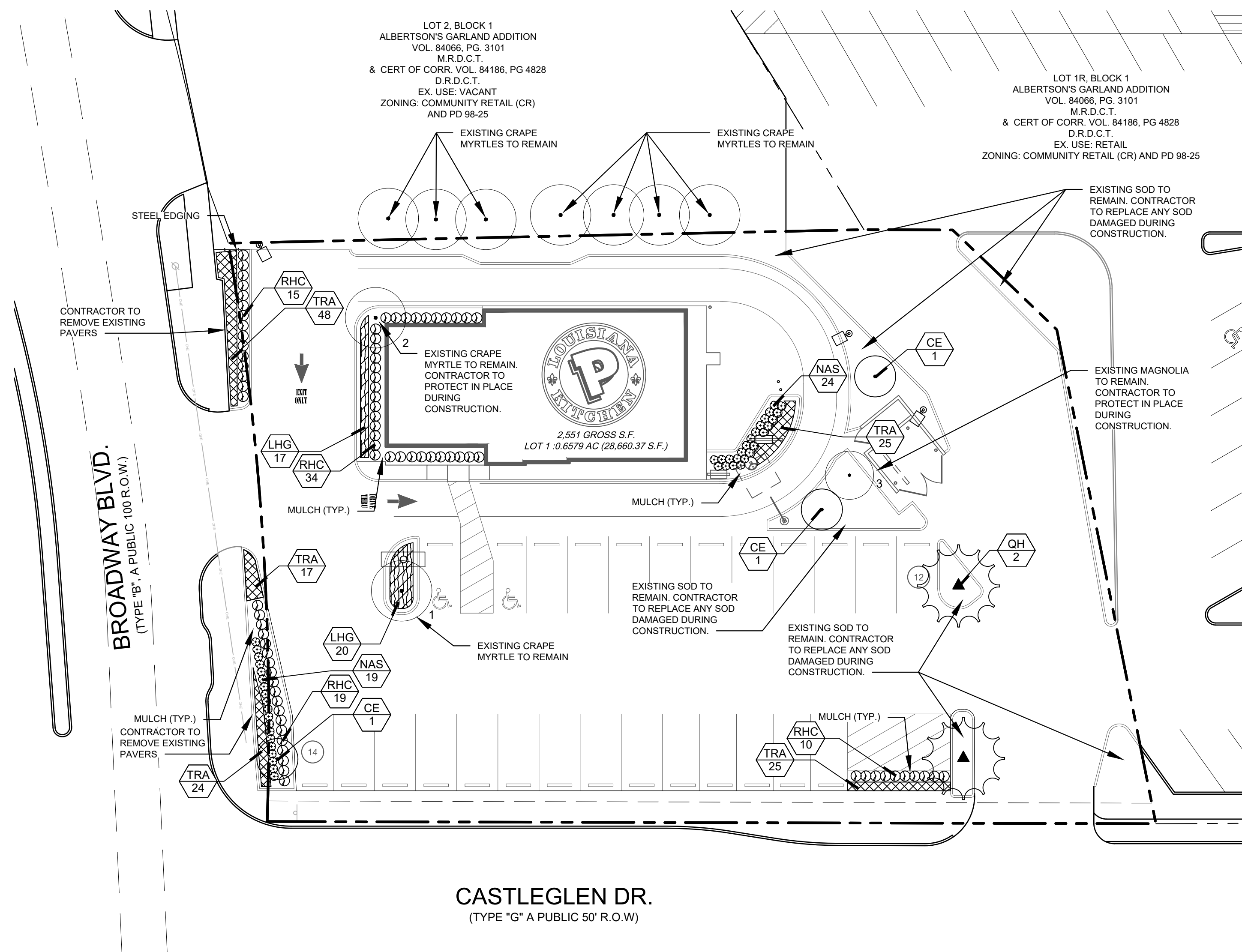
SITE PLAN

SCALE
AS SHOWN
DESIGNED BY
RS
DRAWN BY
CK
CHECKED BY
CK



Kimley»Horn
© 2019 KIMLEY-HORN AND ASSOCIATES, INC.
6160 WARREN PARKWAY, SUITE 210, FRISCO, TX 75034
PHONE: 972-335-3580
WWW.KIMLEY-HORN.COM
TEXAS REGISTERED ENGINEERING FIRM F-928

REVISIONS		DATE
No.		



GARLAND LANDSCAPE REQUIREMENTS

TOTAL SITE AREA: 28,660 SF

	<u>REQUIRED</u>	<u>PROVIDED</u>
TOTAL LANDSCAPE AREA REQUIREMENT 10% OF TOTAL SITE AREA SHALL BE COVERED WITH LANDSCAPE MATERIAL 28,660 SF X 10% = 2,867 SF	2,867 SF	2,995 SF
PARKING LOT LANDSCAPE REQUIREMENT LIVING LANDSCAPE MATERIALS MUST COVER AT LEAST 5% OF THE TOTAL PARKING LOT AREA 25,665 SF X 5% = 1,283 SF	1,283 SF	2,995 SF
PARKING LOT ISLANDS (1) LARGE CANOPY TREE SHALL BE LOCATED AT THE TERMINUS OF EACH PARKING ROW	YES	YES*
(1) LARGE CANOPY TREE IS REQUIRED FOR EVERY 10 PARKING SPACES 28 SPACES / 10 = 3 TREES	3 TREES	3 TREES (1 EXISTING, 1 PROPOSED, 1 CANOPY TREE CREDIT APPLIED)
<u>BUFFER REQUIREMENT</u> BROADWAY BLVD (1) TREE / 30 LF (7) SHRUBS / 30 LF 89 LF / 30 = 3 TREES 89 LF / 30 = 3 X 7 = 21 SHRUBS	3 TREES 21 SHRUBS	3 ORNAMENTAL TREES** 21 SHRUBS
CASTLEGLLEN DR. NOT REQUIRED DUE TO EXISTING LOT CONDITIONS	N/A	N/A

*TREE NOT PROVIDED

NUMBER	SPECIES	DBH	CONDITION	PRESERVE/ REMOVE
1	CRAPE MYRTLE (MT)	19"	HEALTHY	PRESERVE
2	MAGNOLIA	16"	HEALTHY	PRESERVE
3	CRAPE MYRTLE (MT)	9"	HEALTHY	PRESERVE

TOTAL INCHES PRESERVED: 44"

TREE CREDIT CHART

CALIPER OF SMALL ORNAMENTAL TREE (TREE 1, 15.1" OR GREATER) - 1.5 CANOPY TREE CREDITS
 CALIPER OF EXISTING LARGE CANOPY TREE (TREE 2, 12.1" - 24") = 2 LARGE CANOPY TREE CREDITS
 CALIPER OF SMALL ORNAMENTAL TREE (TREE3, 6" - 10") - .5 CANOPY TREE CREDIT

TOTAL TREE CREDITS ACHIEVED: 4 LARGE CANOPY TREE CREDITS

PLANT SCHEDULE

<u>TREES</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SPECIFICATIONS</u>	<u>REMARKS</u>
	QH	2	Quercus muehlenbergii / Chinkapin Oak	3" cal, 14" ht, 5'-6" spr	Full, Straight, Single Leader
<u>ORNAMENTAL TREE</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SPECIFICATIONS</u>	<u>REMARKS</u>
	CE	3	Cercis canadensis / Eastern Redbud	8" ht, 4" spr	Full, Single Leader, Straight
<u>SHRUBS</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SPECIFICATIONS</u>	<u>REMARKS</u>
	RHC	78	Rhaphiolepis indica 'Clara' / Indian Hawthorn	24" ht, 18" spr, 30" oc	Full
<u>GRASSES</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SPECIFICATIONS</u>	<u>REMARKS</u>
	NAS	43	Nassella tenuissima / Mexican Feather Grass	18" ht, 24" oc	Full
<u>GROUND COVERS</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SPECIFICATIONS</u>	<u>REMARKS</u>
	LHG	37	Lantana x 'New Gold' / New Gold Lantana	12" ht, 12" spr, 18" oc	Full, 1 gallon min.
	TRA	139	Trachelospermum asiaticum 'Asiatic' / Asiatic Jasmine	8" ht, 8" spr, 18" oc	Full, 1 gallon min.
<u>MISC</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL / COMMON NAME</u>	<u>SPECIFICATIONS</u>	
	SE	TBD	Steel Edging	3/16", black	
	MULCH	TBD	Shredded Hardwood Mulch	3" depth, dark brown, all trees in sod to receive 4" dia	

NOTE: PLANT QUANTITIES ARE PROVIDED FOR CONVENIENCE ONLY. IN THE CASE OF A DISCREPANCY, THE DRAWING SHALL TAKE PRECEDENCE.

NOTE: PLANTS ARE SPECIFIED BY HEIGHT AND SPREAD, NOT CONTAINER SIZE. ALL PLANTINGS ARE EXPECTED TO MEET ALL SPECIFICATIONS PROVIDED.

PLANTING NOTES

1. ALL PLANT MATERIAL SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND SHALL MEET ALL STANDARDS AS STATED IN THE LATEST EDITION OF "AMERICAN STANDARD FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
2. NO SUBSTITUTIONS IN PLANT MATERIALS SHALL BE MADE WITHOUT WRITTEN AUTHORIZATION FROM OWNER OR LANDSCAPE ARCHITECT. IN THE EVENT OF DISCREPANCIES BETWEEN THE DRAWING AND THE PLANT LIST, THE DRAWING SHALL PREVAIL.
3. LOCATE ALL UTILITIES PRIOR TO ANY DIGGING OPERATIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES INCURRED BY HIS WORK.
4. REFERENCE IRRIGATION PLAN FOR BED IRRIGATION INFORMATION.
5. STAKING AND GUYING ALTERNATIVES: METHODS INDICATED IN DRAWING DETAILS ARE PREFERRED. CONTRACTOR MAY SUGGEST ALTERNATE METHODS, ASSUMING FULL RESPONSIBILITY FOR THEIR IMPLEMENTATION. CONTRACTOR SHALL REPLACE, PLANT, OR UPRIGHT ANY TREES BLOWN OVER OR DAMAGED DUE TO INADEQUATE STAKING AT NO ADDITIONAL COST TO THE OWNER.
6. PLANTS MASSES IN BEDS SHALL BE ARRANGED USING TRIANGULAR SPACING.
7. PROVIDE A STEEL EDGE OR CONCRETE MOW STRIP BETWEEN ALL PLANTING BEDS AND LAWN AREAS. REFERENCE SITE PLAN.
8. ALL PLANTING BEDS TO BE TOP DRESSED WITH A MINIMUM OF 3" SHREDDED HARDWOOD MULCH.
9. PROVIDE GRASS SEEDING OR LAY BERMUDA SOD FOR PROPOSED LAWN AREAS TO ALL EDGES OF PAVEMENT AND/ OR LIMITS OF DISTURBANCE OUTSIDE R.O.W. OR PROPOSED LANDSCAPE EASEMENT. PROVIDE IRRIGATION AS NECESSARY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING UNTIL FINAL ACCEPTANCE. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THE WORK SHALL INCLUDE, BUT NOT TO BE LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. ALL PLANT MATERIALS SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIAL THAT DIES SHALL BE REPLACED WITH THE PLANT MATERIAL OF SIMILAR SIZE AND VARIETY.
11. CONTRACTOR SHALL WARRANTY PLANT MATERIAL TO REMAIN ALIVE AND HEALTHY FOR A PERIOD OF ONE YEAR AFTER FINAL ACCEPTANCE. WARRANTY SHALL NOT INCLUDE DAMAGE FOR LOSS OF PLANT MATERIAL DUE TO NATURAL CAUSES, ACTS OF VANDALISM OR NEGLIGENCE ON THE PART OF THE OWNER.
12. ALL DISTURBED AREAS WITHIN LIMITS OF CONSTRUCTION NOT CALLED TO BE SODDED, SHALL BE REESTABLISHED WITH BERMUDA SOD AND IRRIGATED.
13. ALL LANDSCAPE BED AREAS TO BE PREPARED USING "READY TO PLANT BEDDING MIX" BY SOIL BUILDING SOLUTIONS (OR APPROVED EQUAL). INSTALL TO DEPTHS, PER PLANTING DETAILS (12" DEPTH MIN.) FINISHED GRADES OF PLANTING BEDS TO BE 2" BELOW FINISHED GRADE OF ADJACENT PAVING OR AS SHOWN ON GRADING PLAN.
14. ALL SOD AREAS TO RECEIVE 4" DEPTH (MIN) TOPSOIL PRIOR TO INSTALLATION. TOPSOIL SHALL BE NATURAL, FRIABLE, FERTILE, pH RANGE OF 5.5-7.4. AND FREE OF TRASH, DEBRIS, STONES, WEEDS, AND TWIGS/BRANCHES.
15. ALL DISTURBED AREAS IN R.O.W. TO BE RE-ESTABLISHED WITH BERMUDA SEED OR SOD AND IRRIGATED UNLESS OTHERWISE SHOWN ON PLANS.
16. ALL TREES TO BE PLACED A MINIMUM OF 4' FROM ANY UTILITY.
17. EXISTING TREES TO BE PRUNED BY A CERTIFIED ARBORIST WITH THE DIRECTION OF THE LANDSCAPE ARCHITECT.

CITY PROJECT NUMBER: 190711-2
ZONING CASE NUMBER: 19-28



Know what's **below**.
Call before you dig.

THE CONTRACTOR SHALL FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AND SHALL NOTIFY THE CONSTRUCTION MANAGER AND ENGINEER OF ANY CONFLICTS DISCOVERED. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN) WITHIN SCOPE OF CONSTRUCTION. IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE. CALL 811 AT LEAST 72 HOURS PRIOR TO COMMENCING CONSTRUCTION IN VICINITY.



CASE NUMBER

190711-2

SUN HOLDINGS

ISSUE INFORMATION

REVISIONS

ARCHITECTURAL ELEMENTS	
*	AWNING
*	PORTICO
*	DISPLAY WINDOWS
*	ORNAMENTAL FACADE TRIM
*	VARIED ROOF HEIGHTS
*	DISTINCTIVE LIGHTING FEATURES

ARTICULATION TABLE		
	S.F. / PERCENTAGE OF ARTICULATIONS	ARTICULATION PROJECTED LENGTH
TOTAL ELEVATION	558 S.F.	--
BALCONY	--	--
AWNING	46 S.F. / 8%	3'-0"

MATERIAL TABLE			
FINISH	S.F. / PERCENTAGE (EXCLUDING DOORS AND WINDOWS)	S.F. / PERCENTAGE (EXCLUDING DOORS AND WINDOWS)	
TOTAL ELEVATION	558 S.F.	WINDOWS	83 S.F. / 13%
STUCCO	470 S.F. / 73%	DOORS	0 S.F. / 0%
SIMULATED STONE FINISH	88 S.F. / 14%		

ARTICULATION TABLE		
	S.F. / PERCENTAGE OF ARTICULATIONS	ARTICULATION PROJECTED LENGTH
TOTAL ELEVATION	672 S.F.	--
BALCONY	--	--
AWNING	--	--

MATERIAL TABLE			
FINISH	S.F. / PERCENTAGE (EXCLUDING DOORS AND WINDOWS)	S.F. / PERCENTAGE DOORS AND WINDOWS	
TOTAL ELEVATION	672 S.F.	WINDOWS	0 S.F. / 0%
STUCCO	523.5 S.F. / 78%	DOORS	72 S.F. / 10.5%
SIMULATED STONE FINISH	72 S.F. / 10.5%		

EXTERIOR FINISH NOTES	
STO COLORS	
NA10-0016 - DELIGHTFUL GOLDEN	
NA01-0061 - EXOTIC RED	
NA10-0017 - MOCHA BROWN	
DRYWIT COLORS	
POPE051020 - DELIGHTFUL GOLDEN	
POPE021028S - EXOTIC RED	
POPE031020S - MOCHA BROWN	
STUCCO WALL TEXTURE FINISH	
Manuf.	Texture
STO	STO ESSENCE SWIRL
DRYWIT	QUARTZ PUTZ
FINISH NOTES	
THE FOLLOWING COMPONENTS CAN BE PURCHASED FROM THE APPROVED SIGN VENDORS:	
* STANDING SEAM ROOF	
* D/T WINDOW CANOPY RAILING	
* CLEARANCE BAR	
* MENU CANOPY	
* GUARD RAIL	
* AWNINGS	
* SHUTTERS	

THE FOLLOWING COMPONENTS TO BE MANUFACTURED AND INSTALLED BY THE GENERAL CONTRACTOR	
*	LADDER
*	DUMPSTER GATES

Nelco Architecture, Inc.



PROJECT INFORMATION

GARLAND, TX

5724 BROADWAY BLVD
GARLAND, TX 75043

PROJECT #:
036577

SHEET INFORMATION

FRONT & REAR EXTERIOR ELEVATIONS

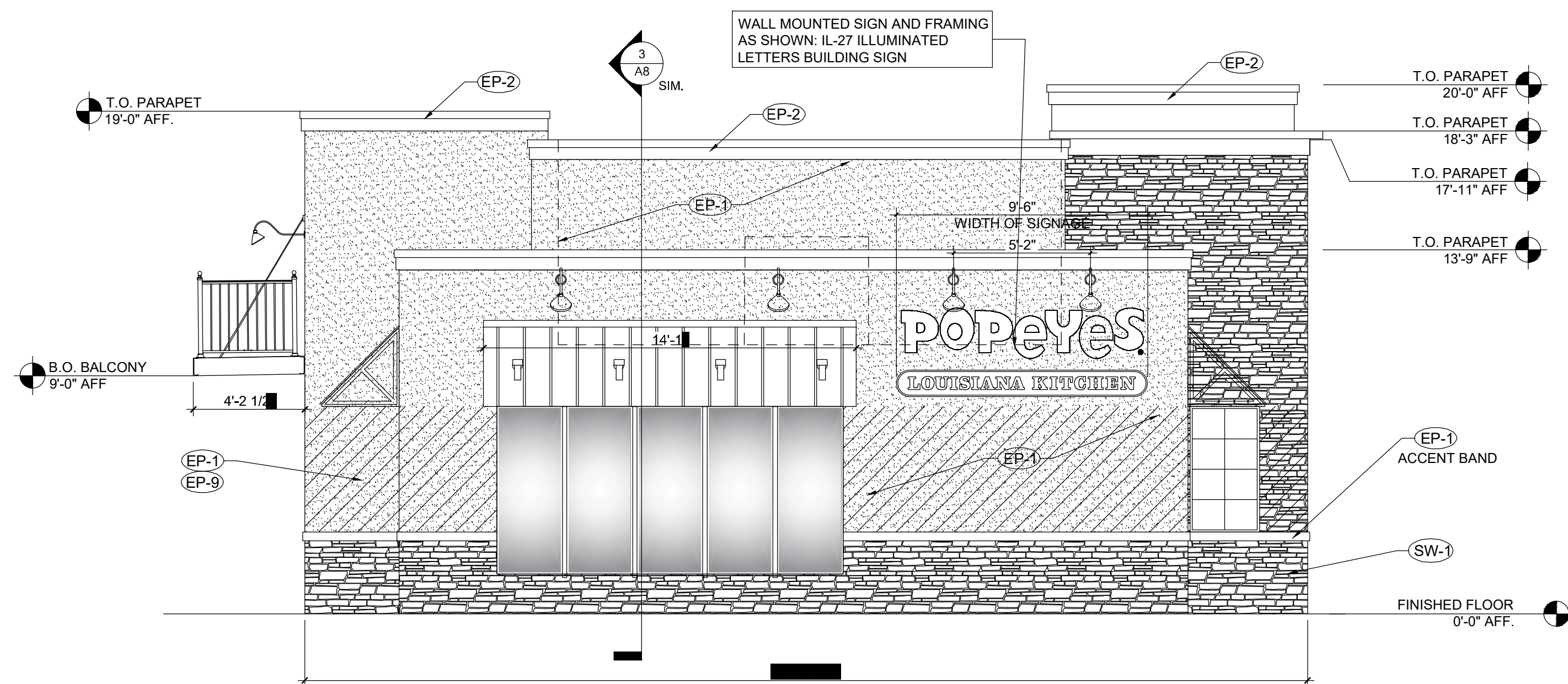
DRAWN BY:
BRP

REVIEWED BY
JN

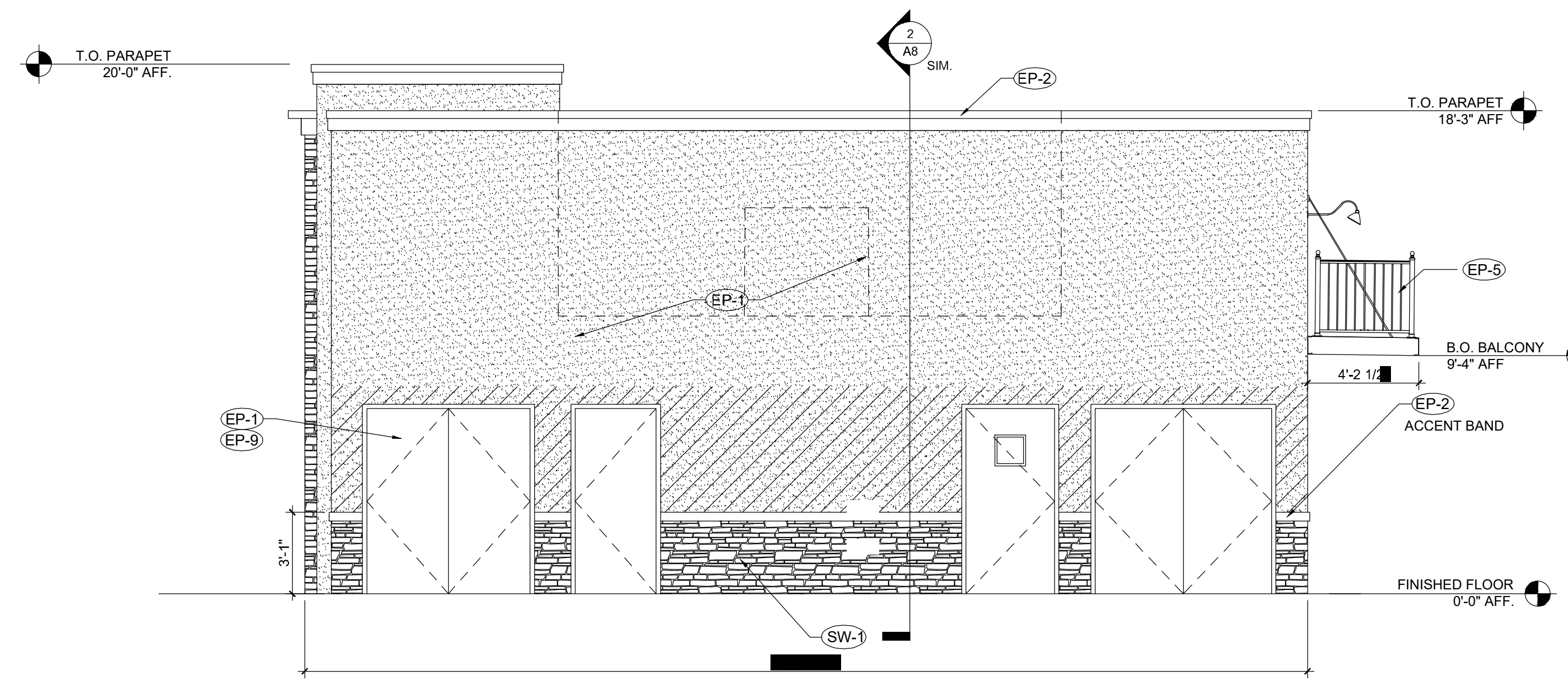
SCALE:

**AUTHORIZED FOR
PERMIT**

A5

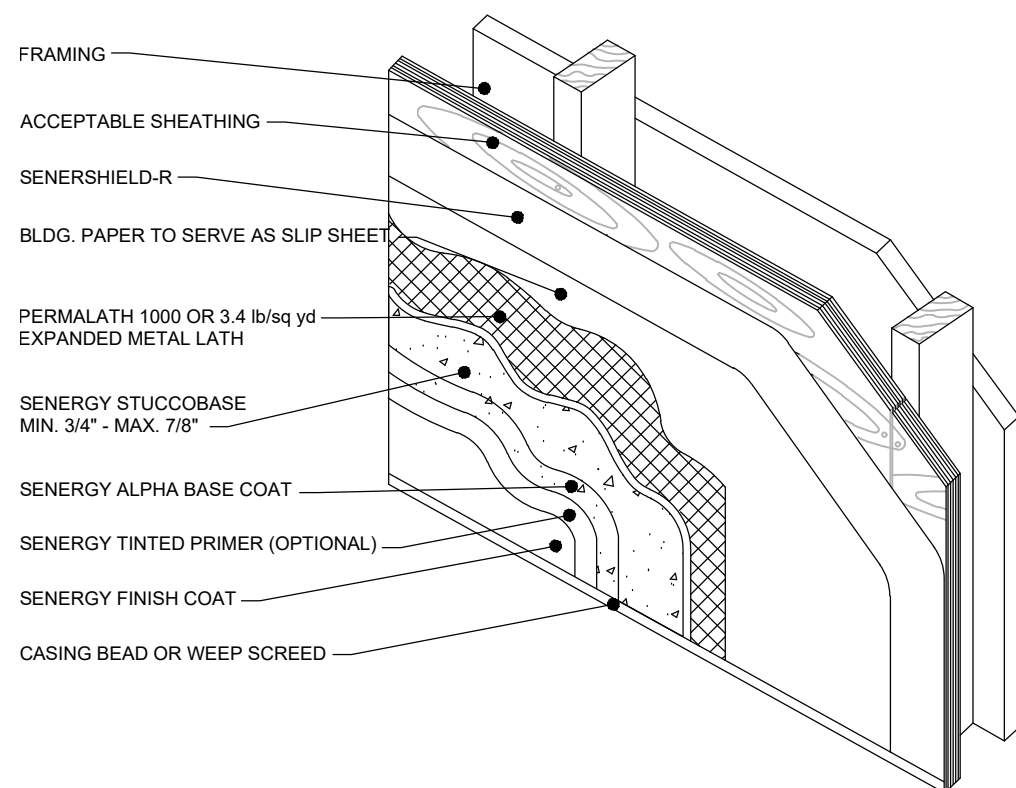


1 FRONT ELEVATION (WEST)
A6 1/4"=1'-0"



2 REAR ELEVATION (EAST)
A6 1/4"=1'-0"

POPEYE'S LOUISIANA KITCHEN - EXTERIOR FINISH SCHEDULE						
MARK	LOCATION	SUPP./MANUF.	MATERIAL	SPECIFICATIONS	COLOR	FINISH/NOTES
SW-1	STONE WAINSCOT	BORAL STONE	VERSETTA SIMULATED STONE VENEER (ON CMU BACKER)	LEDGESTONE	PLUM CREEK	NON-OVERLAPPING
SG-1	STONE WAINSCOT MORTAR	QUIKRETE	VENEER STONE MORTAR	POLYMER MODIFIED	MOCHA BROWN	1137-65
EP-1	MAIN WALLSURFACE ABOVE WAINSCOT ACCENT TRIM	BENJAMIN MOORE	METAL/PAINT	#2158-30	DELIGHTFUL GOLDEN (MATCH GOLDEN SUNSET BRICK)	185 LOW LUSTRE
EP-2	WAINSCOT BELOW ACCENT TRIM		STUCCO/METAL/PAINT	#2107-20	EXOTIC RED	185 LOW LUSTRE
EP-3	SHUTTER BORDERS		PAINT	#2086-10	MOCHA BROWN (MATCH STONE)	185 LOW LUSTRE
EP-4	SHUTTERS	SHUTTERCONTRACTOR.COM	(14) 1/2"X60" WOOD SHUTTERS (BALCONY)	CALIFORNIA REDWOOD	UNFINISHED	030-PAINTABLE
		(25) 1/2"X119" WOOD SHUTTERS (BUILDING)	CALIFORNIA REDWOOD	UNFINISHED	030-PAINTABLE	
		BENJAMIN MOORE	PAINT	#2040-10	RAINFORST FOLIAGE	170 SEMI GLOSS
EP-5	BALCONY AND RAILINGS	RAILING VENDOR/TIGER DRYLAC	METAL/POWDER COAT	RAL 6009	HUNTER GREEN	SMOOTH
EP-5 (ALT)		RAILING VENDOR/BENJAMIN MOORE	METAL/PAINT	#2040-10	RAINFORST FOLIAGE	P-29 DTM SEMI GLOSS
EP-6	STOREFRONT GLAZING	YKKAP	ANODIZED ALUMINUM	#YBSN	DARK BRONZE	21-28 DAYS
EP-6 (ALT)	STOREFRONT GLAZING	BENJAMIN MOORE	METAL/PAINT	#64 (2134-20)	RM BRONZETONE	P-29 DTM SEMI GLOSS
EP-7	DUMPSTER WALLS/GATES			#2107-20	MOCHA BROWN	185 LOW LUSTRE
EP-8	BOLLARDS/LOT STRIPING			METAL/ASPHALT/PAINT	SAFETY & ZONE ACRYLIC MARKING	RM SAFETY YELLOW
EP-9	ANTI-GRAFFITI		PAINT	ALIPHATIC ACRYLIC URETHANE	CLEAR GLOSS	M74-00/M75 ((2) COATS)
G-1	AWNING GRATE (OPTIONAL)	AWNING SUPPLIER	METAL/POWDER COAT	RAL 6009	HUNTER GREEN	SMOOTH
A-1	STANDING SEAM METAL AWNING	COPPER SLABS, INC.	UNA-CLAD	UC-4 ALUMINUM	REGAL RED	12" OC/GUAGE PER LOCAL CODE REQUIREMENTS
SG-1	STONE WAINSCOT MORTAR	QUIKRETE	VENEER STONE MORTAR	POLYMER MODIFIED	MOCHA BROWN	1137-65



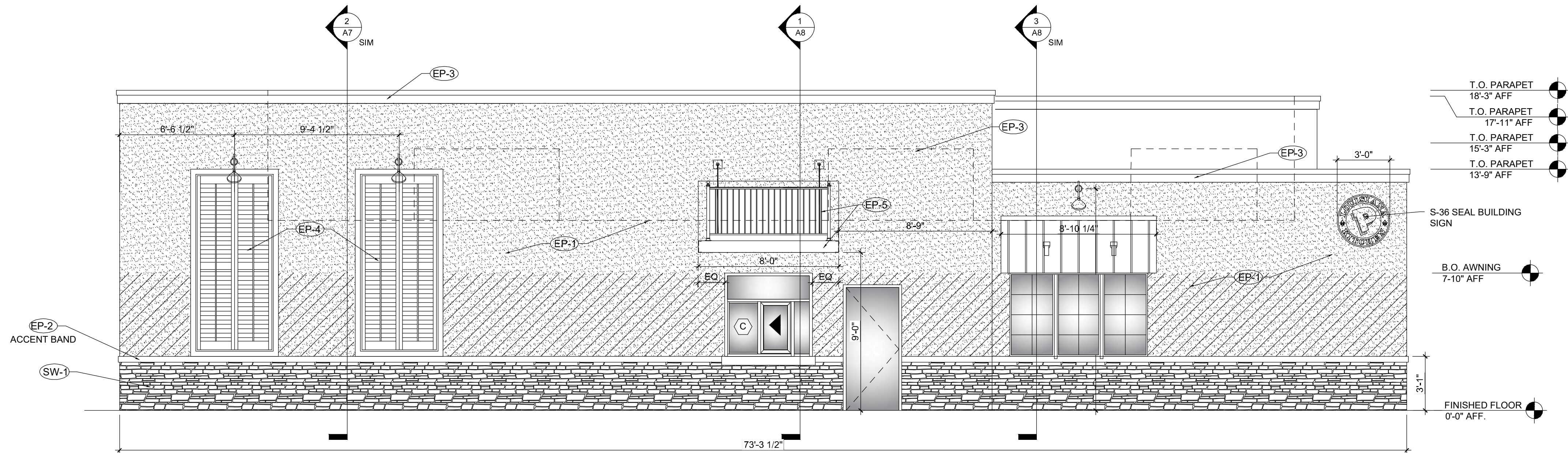
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TYP. STUCCO DETAIL

NTS

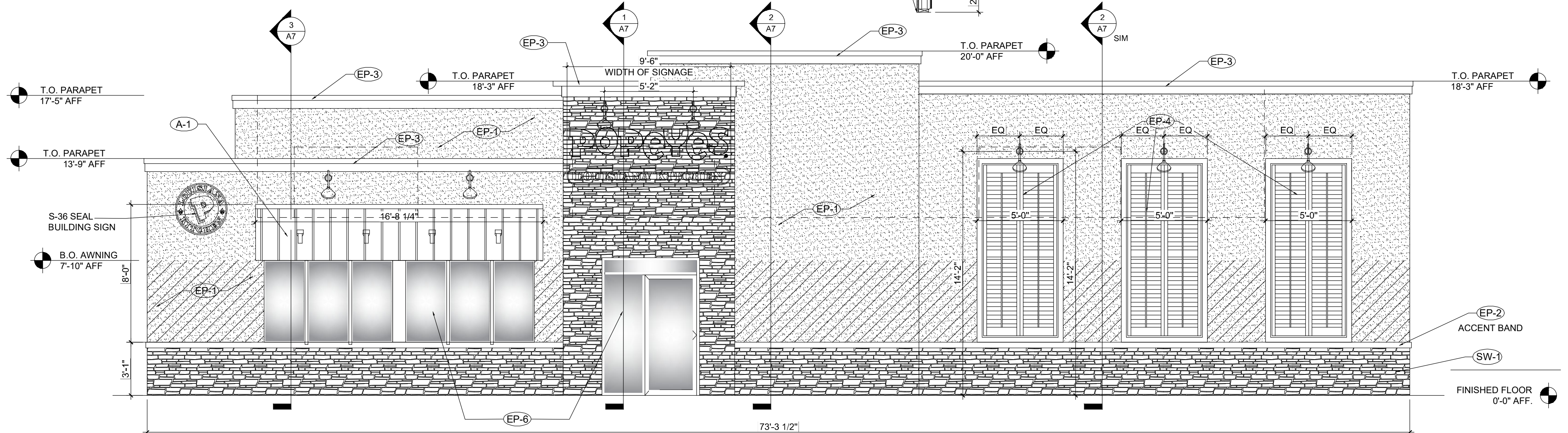
MATERIAL TABLE			
FINISH	S.F. / PERCENTAGE (EXCLUDING DOORS AND WINDOWS)	S.F. / PERCENTAGE DOORS AND WINDOWS	
TOTAL ELEVATION	1,210 S.F.	WINDOWS	61 S.F. / 5%
STUCCO	826 S.F. / 68%	DOORS	24 S.F. / 2%
SIMULATED STONE FINISH	192.5 S.F. / 16%	SHUTTERS	106.5 S.F. / 9%

1 LEFT SIDE ELEVATION (NORTH)
A6 1/4"=1'-0"

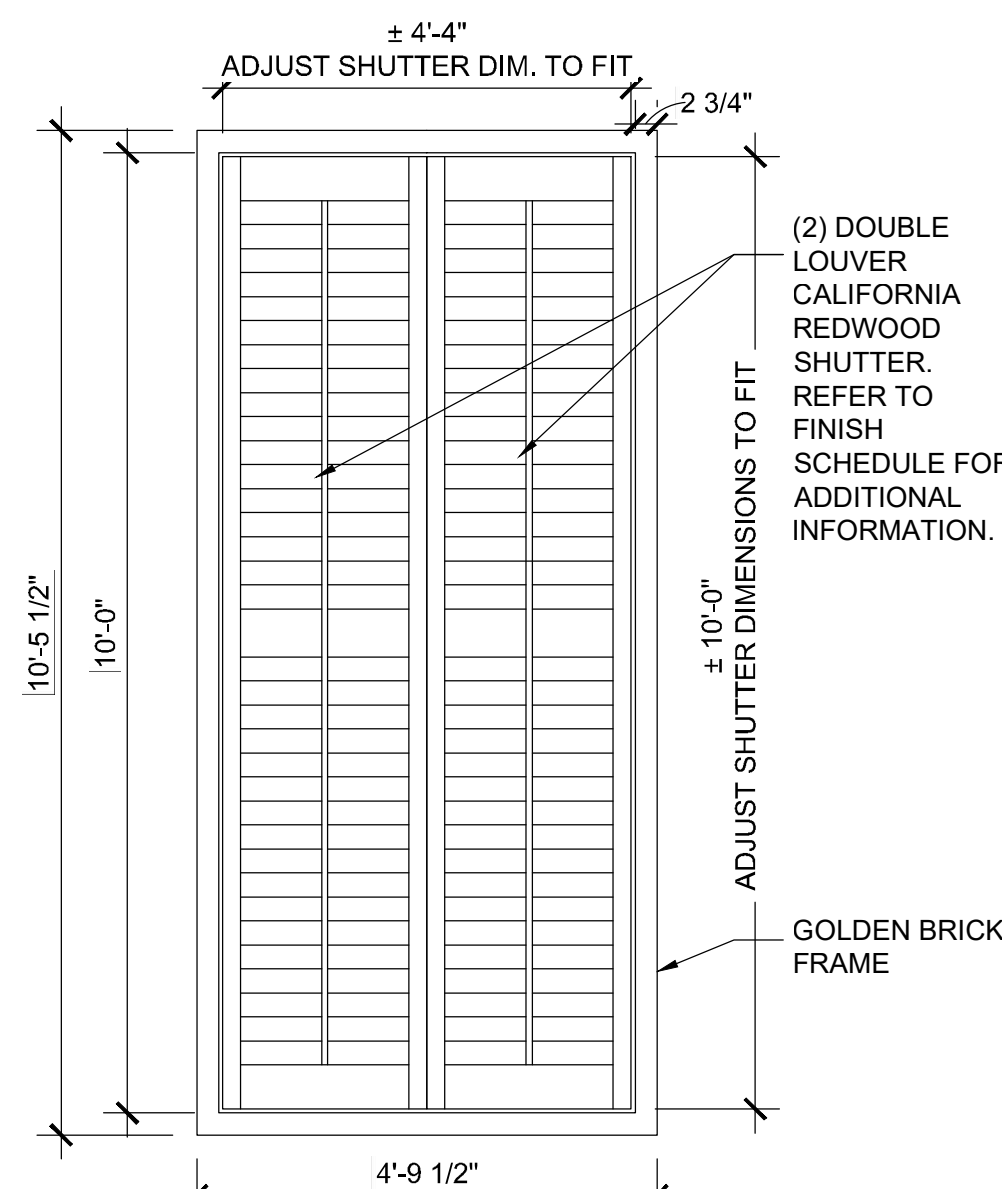


MATERIAL TABLE			
FINISH	S.F. / PERCENTAGE (EXCLUDING DOORS AND WINDOWS)	S.F. / PERCENTAGE DOORS AND WINDOWS	
TOTAL ELEVATION	1,251 S.F.	WINDOWS	74.5 S.F. / 6%
STUCCO	683 S.F. / 54.5%	DOORS	45.5 S.F. / 3.5%
SIMULATED STONE FINISH	288 S.F. / 23%	SHUTTERS	160 S.F. / 13%

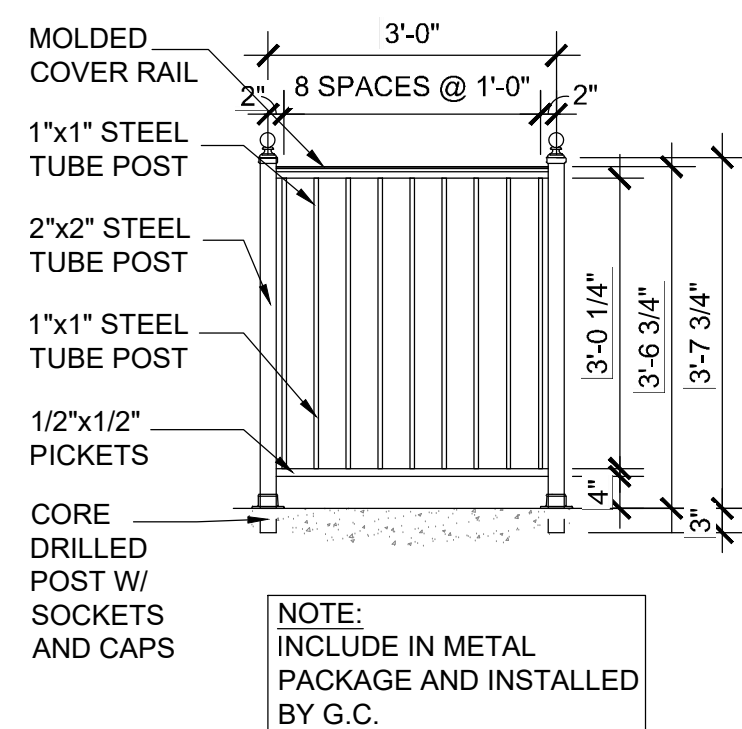
ARTICULATION TABLE		
	S.F. / PERCENTAGE OF ARTICULATIONS	ARTICULATION PROJECTED LENGTH
TOTAL ELEVATION	1,251 S.F.	
BALCONY	--	--
AWNING	54 S.F. / 4%	3'-0"



2 RIGHT SIDE ELEVATION (SOUTH
A6 1/4"=1'-0"



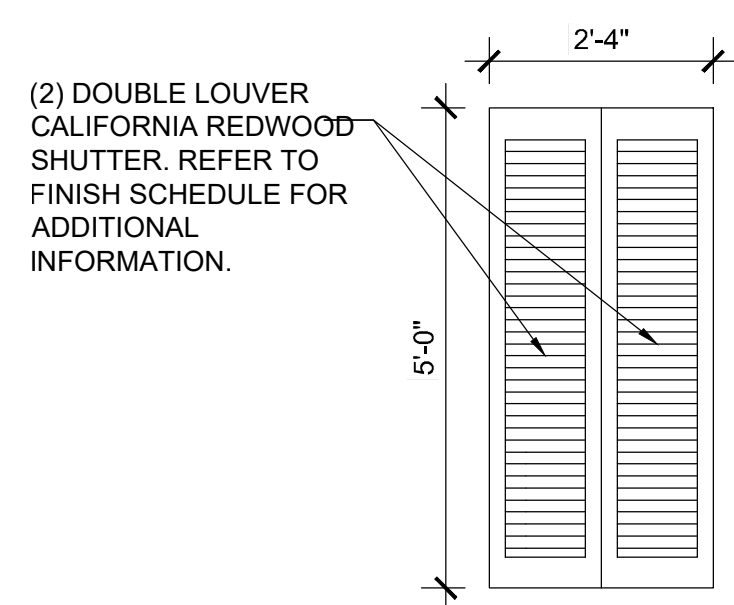
5 SHUTTER DETAIL
A6 1/2"=1'-0"



3
A6

GUARD RAIL DETAIL

1/2"=1' 0"



4 BALCONY SHUTTER DETAIL
A6 1/2"=1'-0"

POPEYE'S LOUISIANA KITCHEN - EXTERIOR FINISH SCHEDULE						
MARK	LOCATION	SUPP./MANUF.	MATERIAL	SPECIFICATIONS	COLOR	FINISH/NOTES
SW-1	STONE WAINSCOT	BORAL STONE	VERSETTA SIMULATED STONE VENEER (ON CMU BACKER)	LEDGESTONE	PLUM CREEK	NON-OVERLAPPING
SG-1	STONE WAINSCOT MORTAR	QUIKRETE	VENEER STONE MORTAR	POLYMER MODIFIED	MOCHA BROWN	1137-65
EP-1	MAIN WALLS/SURFACE ABOVE WAINSCOT ACCENT TRIM	BENJAMIN MOORE	METAL/PAINT	#2158-30	DELIGHTFUL GOLDEN (MATCH GOLDEN SUNSET BRICK)	185 LOW LUSTRE
EP-2	WAINSCOT BELOW ACCENT TRIM		STUCCO/METAL/PAINT	#2107-20	EXOTIC RED	185 LOW LUSTRE
EP-3	SHUTTER BORDERS		PAINT	#2086-10	MOCHA BROWN (MATCH STONE)	185 LOW LUSTRE
EP-4	SHUTTERS	SHUTTERCONTRACTOR.COM	(14) 1/2"x60" WOOD SHUTTERS (BALCONY)	CALIFORNIA REDWOOD	UNFINISHED	030-PAINTABLE
			(25) 1/2"x119" WOOD SHUTTERS (BUILDING)	CALIFORNIA REDWOOD	UNFINISHED	030-PAINTABLE
		BENJAMIN MOORE	PAINT	#2040-10	RAINFORREST FOLIAGE	170 SEMI GLOSS
EP-5	BALCONY AND RAILINGS	RAILING VENDOR/TIGER DRYLAC	METAL/POWDER COAT	RAL 6009	HUNTER GREEN	SMOOTH
EP-5 (ALT.)		RAILING VENDOR/BENJAMIN MOORE	METAL/PAINT	#2040-10	RAINFORREST FOLIAGE	P-29 DTM SEMI GLOSS
EP-6	STOREFRONT GLAZING	YKKAP	ANODIZED ALUMINUM	#YBSN	DARK BRONZE	21-28 DAYS
EP-6 (ALT.)	STOREFRONT GLAZING	BENJAMIN MOORE	METAL/PAINT	#64 (2134-20)	RM BRONZETONE	P-29 DTM SEMI GLOSS
EP-7	DUMPSTER WALLS/GATES		METAL/ASPHALT/PAINT	#2107-20	MOCHA BROWN	185 LOW LUSTRE
EP-8	BOLLARDS/SLOT STRIPING		SAFETY & ZONE ACRYLIC MARKING		RM SAFETY YELLOW	P58-10
EP-9	ANTI-GRAFFITI		PAINT	ALIPHATIC ACRYLIC URETHANE	CLEAR GLOSS	M74-00/M75 ((2) COATS)
G-1	AWNING GRATE (OPTIONAL)		AWNING SUPPLIER	METAL/POWDER COAT	RAL 6009	HUNTER GREEN
A-1	STANDING SEAM METAL AWNING	COPPER SALES, INC.	UNA-CLAD	UC-4 ALUMINUM	REGAL RED	12" OC/GUAGE PER LOCAL CODE REQUIREMENTS
SG-1	STONE WAINSCOT MORTAR	QUIKRETE	VENEER STONE MORTAR	POLYMER MODIFIED	MOCHA BROWN	1137-65

EXTERIOR FINISH NOTES	
STO COLORS	
NA10-0016 - DELIGHTFUL GOLDEN	
NA01-0061 - EXOTIC RED	
NA10-0017 - MOCHA BROWN	
DRYVIT COLORS	
POPE051020 - DELIGHTFUL GOLDEN	
POPE021028S - EXOTIC RED	
POPE031020S - MOCHA BROWN	
STUCCO WALL TEXTURE FINISH	
Manuf.	Texture
STO	STO ESSENCE SWIRL
DRYVIT	QUARTZ PUTZ
FINISH NOTES	
THE FOLLOWING COMPONENTS CAN BE PURCHASED FROM THE APPROVED SIGN VENDORS:	
	* STANDING SEAM ROOF
	* D/T WINDOW CANOPY RAILING
	* CLEARANCE BAR
	* MENU CANOPY
	* GUARD RAIL
	* AWNINGS
	* SHUTTERS
THE FOLLOWING COMPONENTS TO BE MANUFACTURERS AND INSTALLED BY THE GENERAL CONTRACTOR	
	* LADDER
	* DUMPSTER GATES

**311 Elm Street Suite 600
Cincinnati, OH 45202
513 241 3000
www.frchnelson.com**



CASE NUMBER

190711-2

SUN HOLDINGS

ISSUE INFORMATION

REVISIONS

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Nelco Architecture, Inc.



PROJECT INFORMATION

GARLAND, TX

5724 BROADWAY BLVD.

PROJECT #:
036577

SHEET INFORMATION

LEFT & RIGHT EXTERIOR ELEVATIONS

DRAWN BY:
BRP

REVIEWED BY:
JN

SCALE:

AUTHORIZED FOR:
PERMIT

A6

Z 19-28



View from the corner of Castleglen and Broadway of existing structure.



View from Broadway looking north towards the existing structure.



View of the existing building from the west looking east towards Castleglen Dr.



View of the rear of the existing building; showing the drive through and existing screening of dumpster.



GARLAND

Plan Commission

4. a.

Meeting Date: 09/23/2019

Item Title: SV 19-02 Entertainment Properties Group (District 1)

Summary:

Consideration of the application of **Entertainment Properties Group**, requesting approval of a Master Sign Plan on a property zoned Planned Development (PD) District 17-35 which allows consideration of deviations to Chapter 4, Article 5 of the Garland Development Code regarding sign size. This property is located at 5902 President George Bush Turnpike. (District 1) (File SV 19-02)

Attachments

SV 19-02 Entertainment Properties Group Report and Attachments

Planning Report

File No: SV 19-02 /District 1

Agenda Item:

Meeting: Plan Commission

Date: September 23, 2019

REQUEST

Approval of a Master Sign Plan on a property zoned Planned Development (PD) District 17-35 which allows consideration of deviations to Chapter 4, Article 5 of the Garland Development Code regarding sign size.

LOCATION

5902 North President George Bush Turnpike

APPLICANT

Entertainment Properties Group

OWNER

Entertainment Properties Group

BACKGROUND

The subject site is currently proposing wall signage for Strike + Reel Entertainment, a venue which will include a bowling alley, movie theatre and restaurant use. The ordinance that regulates development on the subject site, Planned Development (PD) District 17-35 for Mixed Uses, defers all signage regulation to Article 5 (Sign Standards) in Chapter 4 of the Development Code (GDC). However, PD 17-35 allows flexible signage to be considered by the Plan Commission. The applicant is proposing seven (7) wall signs which include deviations to Chapter 4, Article 5 of the Garland Development Code (GDC).

Sign Proposal:

South Elevation Two (2) Front Wall Signs and Two (2) Tower Wall Signs

West Elevation One (1) Wall Sign

East Elevation One (1) Wall Sign

Planned Development (PD) 17-35 District allows for flexible signage to be proposed by the applicant, typically through a Master Concept Plan and/or Master Sign Plan to be considered by the Plan Commission, but that deviations from the Garland Development Code (GDC) signage standards shall be established and approved by the Plan Commission nonetheless.

SITE DATA

The subject property is approximately 11.40 acres with 500 feet of frontage along President George Bush Turnpike and 680 feet of frontage along Holford Road.

CONSIDERATIONS

1. Section 4.78(A)(2)(a)(i) of the Garland Development Code (GDC) stipulates that no front façade signs may exceed 75 percent of the corresponding width or height of the wall, with a maximum of 200 square feet. The applicant is proposing two (2)

tower wall signs and two (2) front wall signs with a maximum sign area of 489 square feet for the front façade facing President George Bush Turnpike (South Elevation).

2. Section 4.78(A)(2)(a)(ii) of the Garland Development Code (GDC) limits all side and rear façade signs to 50 percent of the corresponding width or the height of the wall, with a maximum of 200 square feet. The applicant is proposing one (1) wall sign each on the east and west façades of the building; the sign area on the east is 846 square feet and the sign area on the west is 746 square feet. No signage is proposed on the rear (north) façade of the building.
3. The applicant asserts that the proposed signs, although exceeding the prescribed sign areas in the Garland Development Code (GDC), are proportionate to the size of the building to which the signs will be attached. The applicant further states that proposed sign areas and location of the signs will maximize the visibility from President George Bush Turnpike.
4. The intent of a sign is to be visible from the highway. The Garland Development Code (GDC) limitation in combination with the size of the buildings to which the proposed signs will be mounted limits the visibility of the proposed signs. Staff recognizes that the prescribed sign areas in the Garland Development Code (GDC) will not provide significant sign visibility from President George Bush Turnpike. Moreover, based on the exhibits provided, staff concludes that the proposed signs would be proportionate to the size of the buildings to which they will be attached and signs will not dominate the view from President George Bush Turnpike.

RECOMMENDATION:

Staff recommendation is to approve a Sign Master Plan on a property zoned Planned Development (PD) District 17-35 which allows deviations to Chapter 4, Article 5 of the Garland Development Code regarding sign size.

ADDITIONAL INFORMATION

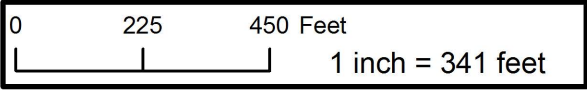
- i. Location Map
- ii. Applicant's Letter
- ii. Drawings
- iii. Photos

PREPARED BY:

Kimberly Hopkins
Development Planner
Planning and Community Development
972-205-2454
khopkins@garlandtx.gov

REVIEWED BY:

Will Guerin, AICP
Director of Planning



Sign Variance SV 19-02

 INDICATES AREA OF REQUEST



1 VIEW FROM SOUTH EAST SERVICE ROAD



4 VIEW FROM PRESIDENT GEORGE BUSH TURNPIKE



2 VIEW FROM PRESIDENT GEORGE BUSH TURNPIKE



3 VIEW FROM TOWER TO PRESIDENT GEORGE BUSH TURNPIKE



5 VICINITY MAP

PROJECT TEAM

DESIGN TEAM / ARCHITECTURE
Coeval Studio
154 Leslie St.
Dallas, Texas 75207
214.931.4097 - Office

STRIKE+REEL

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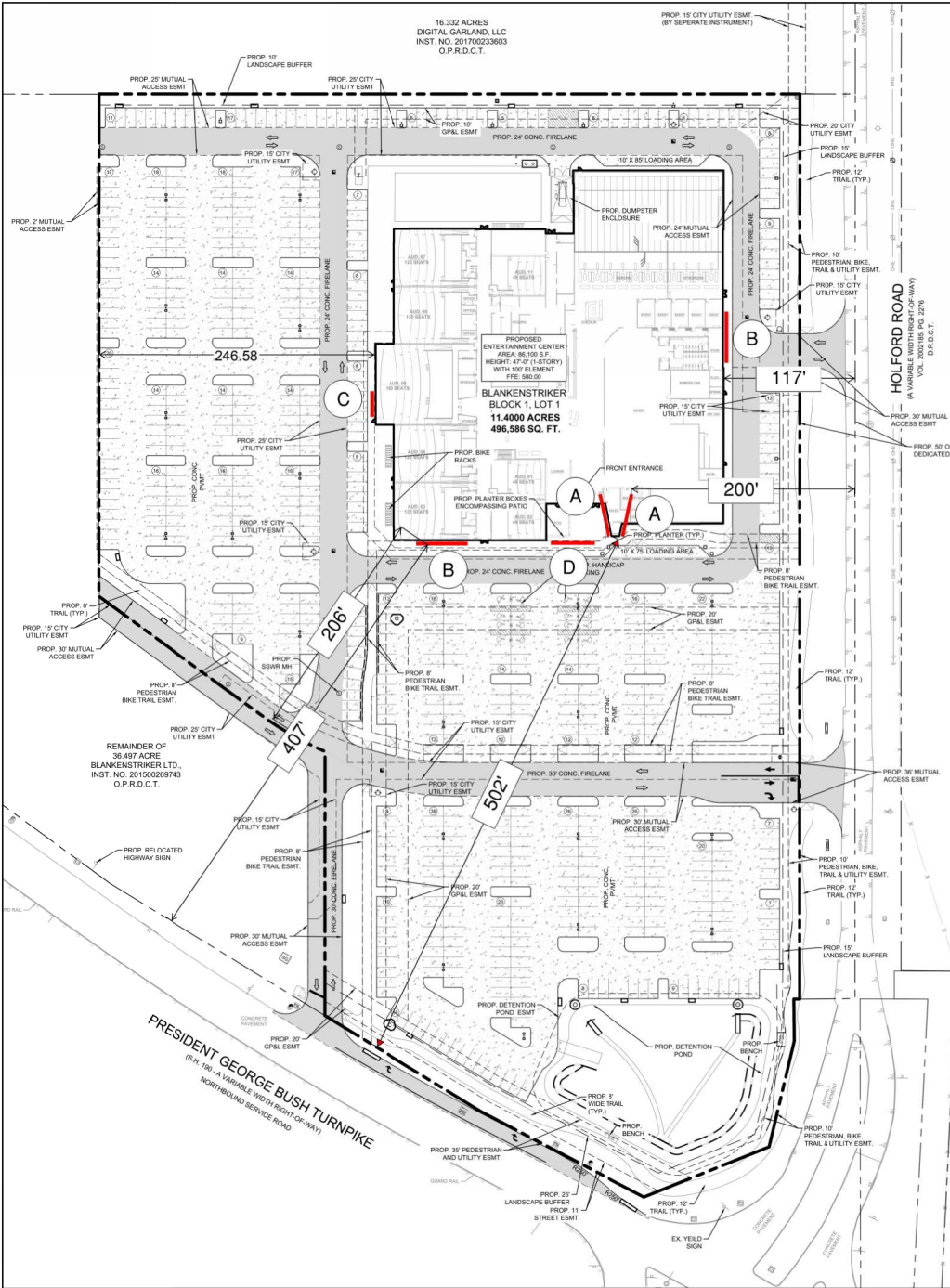
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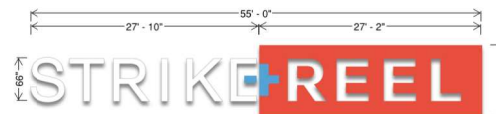
PROJECT NUMBER:
17023
REVISIONS

ISSUE DATE:
2019.09.04

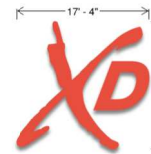
SD
EXTERIOR ELEVATIONS
S4



SIGN A



SIGN B

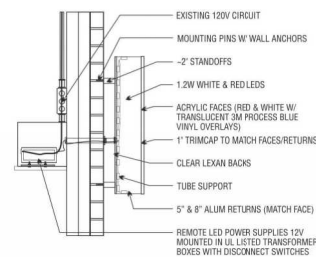


SIGN C

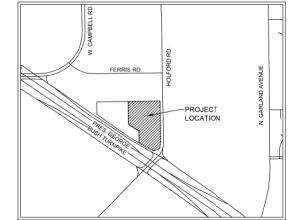
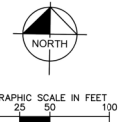


SIGN D

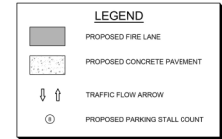
CROSS SECTION DETAIL (ALL WALL & TOWER SIGNS)



TYPICAL SIGN MOUNTING DETAIL



VICINITY MAP
N.T.S.



SITE DATA TABLE	
TOTAL SITE AREA (AC.)	11.40
BUILDING COVERAGE (GSF)	86,100
FLOOR AREA RATIO	0.17:1
TOTAL IMPERVIOUS COVER (SF)	405,330
PERCENT IMPERVIOUS (%)	81.62%
BUILDING HEIGHT PERMITTED	100' 0\" (3-STORY)
BUILDING HEIGHT PROPOSED	100' 0\" (3-STORY)
BUILDING FTE (FTE)	580.00

Kimley»Horn



PROJECT NO.	2019-001
DATE	AUG 2019
SCALE	AS SHOWN
DESIGNED BY	JAM
DRAWN BY	ABG
CHECKED BY	SES

STRIKE+REEL
BLANKENSTRIKER BLOCK 1, LOT 1
580,000 S.F. OF 3-STORY
CITY OF GARLAND, TEXAS

SIGN EXHIBIT

SHEET NUMBER
S3

OWNER/APPLICANT:
FE CONCEPTS, LLC
12442 COT ROAD, SUITE 800
DALLAS, TEXAS 75251
TEL NO 214-751-6830
CONTACT: W. MARK MOORE

CIVIL ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
13455 REEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700 DALLAS, TX 75240
TEL NO 972-770-1900
CONTACT: JENNIFER MOORE, P.E.

SIGN EXHIBIT
OF
BLANKENSTRIKER BLOCK 1, LOT 1
11,400 AC.
SITUATED IN THE P. RICE SURVEY
ABSTRACT NO. 1241
CITY OF GARLAND, DALLAS COUNTY, TEXAS
DATE: AUGUST 30, 2019





FINISH MATERIALS LEGEND						
ID#	MATERIAL	MANUFACTURER	DESCRIPTION	COLOR/PAINT	FINISH/PAINT	LOCATION
BR-01	BRICK	BRICK CO. INC.	BRICK CO. INC. BRICK	BRICK CO. INC. BRICK	BRICK CO. INC. BRICK	BRICK CO. INC. BRICK
CM-01	PRECAST CONCRETE	CM-01	CM-01	CM-01	CM-01	CM-01
ML-01	METAL PANEL	ML-01	ML-01	ML-01	ML-01	ML-01
ML-02	METAL PANEL	ML-02	ML-02	ML-02	ML-02	ML-02
ML-03	METAL PANEL	ML-03	ML-03	ML-03	ML-03	ML-03
ML-04	METAL PANEL	ML-04	ML-04	ML-04	ML-04	ML-04
ML-05	METAL PANEL	ML-05	ML-05	ML-05	ML-05	ML-05
ML-06	METAL PANEL	ML-06	ML-06	ML-06	ML-06	ML-06
ML-07	METAL PANEL	ML-07	ML-07	ML-07	ML-07	ML-07
ML-08	METAL PANEL	ML-08	ML-08	ML-08	ML-08	ML-08
ML-09	METAL PANEL	ML-09	ML-09	ML-09	ML-09	ML-09
ML-10	METAL PANEL	ML-10	ML-10	ML-10	ML-10	ML-10
ML-11	METAL PANEL	ML-11	ML-11	ML-11	ML-11	ML-11
ML-12	METAL PANEL	ML-12	ML-12	ML-12	ML-12	ML-12
ML-13	METAL PANEL	ML-13	ML-13	ML-13	ML-13	ML-13
ML-14	METAL PANEL	ML-14	ML-14	ML-14	ML-14	ML-14
ML-15	METAL PANEL	ML-15	ML-15	ML-15	ML-15	ML-15
ML-16	METAL PANEL	ML-16	ML-16	ML-16	ML-16	ML-16
ML-17	METAL PANEL	ML-17	ML-17	ML-17	ML-17	ML-17
ML-18	METAL PANEL	ML-18	ML-18	ML-18	ML-18	ML-18
ML-19	METAL PANEL	ML-19	ML-19	ML-19	ML-19	ML-19
ML-20	METAL PANEL	ML-20	ML-20	ML-20	ML-20	ML-20

ARCHITECTURAL ELEMENTS

- ARCH-01 DISPLAY WINDOWS
- ARCH-02 DIVIDED LIGHT WINDOWS
- ARCH-03 TRANSOM
- ARCH-04 RECESSED ENTRIES
- ARCH-05 DISTINCTIVE LIGHTING FEATURES
- ARCH-06 PLANTER
- ARCH-07 BENCHES FOR OUTDOOR SEATING
- ARCH-08 VARIED ROOF HEIGHTS

ARTICULATED AREAS PERCENTAGE

NORTH FACADE: 39%
SOUTH FACADE: 51%
EAST FACADE: 61%
WEST FACADE: 60%

ARTICULATED AREAS INCLUDE WOOD TEXTURE PANELS AND PAINT COLOR PATTERN.
SEE MATERIAL ELEVATION PERCENTAGE TABLE.

NOTE: ROOF MOUNTED EQUIPMENT HIDDEN FROM VIEW WITH PARAPETS.

NOTE 2: ROOF IS A WHITE 60 ML TPO ROOF WITH A 30 YEAR WARRANTY.

100' - 0" AFF EXISTING

100' - 0" AFF EXISTING

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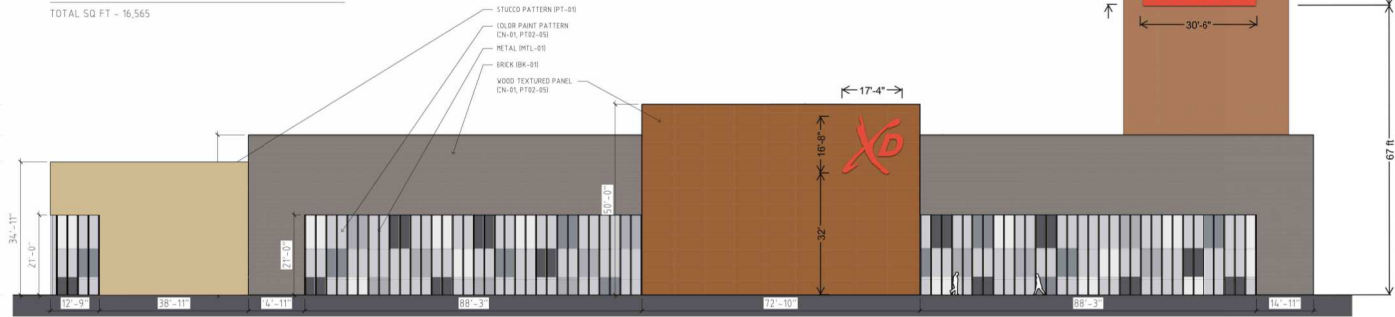
100' - 0" AFF EXISTING

100' - 0" AFF EXISTING

MATERIAL ELEVATION PERCENTAGE

WOOD TEXTURED PANEL (WD-01) 37% (6,095 SQFT)
BRICK (BR-01) 30% (4,960 SQFT)
COLOR PAINT PATTERN (CN-01, PT02-05) 24% (3,974 SQFT)
STUCCO (PT-01) 09% (1,536 SQFT)

TOTAL SQ FT = 16,565



MATERIAL ELEVATION PERCENTAGE

WOOD TEXTURED PANEL (WD-01) 37% (5,311 SQFT)
BRICK (BR-01) 24% (3,505 SQFT)
COLOR PAINT PATTERN (CN-01, PT02-05) 23% (3,386 SQFT)
STUCCO (PT-01) 16% (2,380 SQFT)

TOTAL SQ FT = 14,582

SIGNAGE TABULATIONS					
Façade	Direction	Linear Feet	Sign Area	Max Allowed	Delta
Front	South	295'	489	200	289
Rear	North	295'	0	100	-100
Side	East	318'	846	100	746
Side	West	280'	746	100	646

PROJECT TEAM

DESIGN TEAM / ARCHITECTURE
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Strike & Reel

PROJECT NUMBER

17023

REVISIONS

ISSUE DATE

2019.09.04

SD

EXTERIOR ELEVATIONS

S2

FINISH MATERIALS LEGEND									
ID#	MATERIAL	MANUFACTURER	SUBSOURCE	COLOR/FINISH	USE	FINISH/COATING	LOCATION	REMARKS	
BR-01	BRICK	BLACK OAK BRICK	BLACK OAK BRICK CO., REP. AUSTIN TEXAS	BRN-BRICK - GERMINE TISCOM	1/2" PICK-BOND	BRN-BRICK - GERMINE TISCOM	EXTERIOR FACADE		
CN-01	PRECAST CONCRETE	CGC TO SOURCE	CGC TO SOURCE	NATURAL COLOR, UNCOATED/UNPAINTED	N/A	NATURAL COLOR, UNCOATED/UNPAINTED	EXTERIOR FACADE	1/2" TO PROVIDE SAMPLE FOR APPROVAL	
ML-01	METAL - TUBE	CGC TO SOURCE	CGC TO SOURCE	TO MATCH ADJACENT FINISH	2X4 LVL WITH 1/4" LIP (20000)	METAL TUBE USED FOR VERTICAL ELEMENTS ON FACADE TO MATCH ADJACENT FINISH	EXTERIOR FACADE - VERTICAL ELEMENTS		
ML-02	METAL - CLADDING	CGC TO SOURCE	CGC TO SOURCE	WHITE BLACK FINISH	1/2" PICK-BOND	WHITE BLACK FINISH METAL CLADDING USED AS EXTERIOR CLADDING	EXTERIOR FACADE - (ONLY COORDINATE)	1/2" TO PROVIDE SAMPLE FOR APPROVAL	
ML-03	METAL - TUBE	CGC TO SOURCE	CGC TO SOURCE	WHITE BLACK FINISH	1/2" PICK-BOND	WHITE BLACK FINISH METAL TUBING USED AS EXTERIOR CLADDING	EXTERIOR FACADE - (ONLY COORDINATE)	1/2" TO PROVIDE SAMPLE FOR APPROVAL	
PT-01	PAINT - EXTERIOR	SHERRIN WILLIAMS	SHERRIN WILLIAMS	SW 700 GARDEN GRAY	100%	EXTERIOR GARDEN GRAY PAINT - SW 700 GARDEN GRAY	EXTERIOR FACADE - (ONLY COORDINATE)	1/2" TO PROVIDE SAMPLE FOR APPROVAL	
PT-02	PAINT - EXTERIOR	SHERRIN WILLIAMS	SHERRIN WILLIAMS	SW 700 GARDEN GRAY	100%	EXTERIOR GARDEN GRAY PAINT - SW 700 GARDEN GRAY	EXTERIOR FACADE - (ONLY COORDINATE)	1/2" TO PROVIDE SAMPLE FOR APPROVAL	
PT-03	PAINT - EXTERIOR	SHERRIN WILLIAMS	SHERRIN WILLIAMS	SW 700 GARDEN GRAY	100%	EXTERIOR GARDEN GRAY PAINT - SW 700 GARDEN GRAY	EXTERIOR FACADE - (ONLY COORDINATE)	1/2" TO PROVIDE SAMPLE FOR APPROVAL	
PT-04	PAINT - EXTERIOR	SHERRIN WILLIAMS	SHERRIN WILLIAMS	SW 700 GARDEN GRAY	100%	EXTERIOR GARDEN GRAY PAINT - SW 700 GARDEN GRAY	EXTERIOR FACADE - (ONLY COORDINATE)	1/2" TO PROVIDE SAMPLE FOR APPROVAL	
PT-05	PAINT - EXTERIOR	SHERRIN WILLIAMS	SHERRIN WILLIAMS	SW 700 GARDEN GRAY	100%	EXTERIOR GARDEN GRAY PAINT - SW 700 GARDEN GRAY	EXTERIOR FACADE - (ONLY COORDINATE)	1/2" TO PROVIDE SAMPLE FOR APPROVAL	
PT-06	PAINT - EXTERIOR	SHERRIN WILLIAMS	SHERRIN WILLIAMS	SW 700 GARDEN GRAY	100%	EXTERIOR GARDEN GRAY PAINT - SW 700 GARDEN GRAY	EXTERIOR FACADE - (ONLY COORDINATE)	1/2" TO PROVIDE SAMPLE FOR APPROVAL	
WD-01	WOOD CLADDING	PARADE	PARADE - REP. AUSTIN TEXAS	PARADE - CLADDING	1/2" PICK-BOND	PARADE - CLADDING	EXTERIOR FACADE	1/2" TO PROVIDE SAMPLE FOR APPROVAL	

ARCHITECTURAL ELEMENTS:

ARCH-01	DISPLAY WINDOWS
ARCH-02	DIVIDED LIGHT WINDOWS
ARCH-03	TRANSOM
ARCH-04	RECESSED ENTRIES
ARCH-05	DISTINCTIVE LIGHTING FEATURES
ARCH-06	PLANTER
ARCH-07	BENCHES FOR OUTDOOR SEATING
ARCH-08	VARIED ROOF HEIGHTS

ARTICULATED AREAS PERCENTAGE:

NORTH FACADE: 39%
SOUTH FACADE: 51%
EAST FACADE: 61%
WEST FACADE: 60%

ARTICULATED AREAS INCLUDE WOOD TEXTURE PANELS AND PAINT COLOR PATTERN.
SEE MATERIAL ELEVATION PERCENTAGE TABLE.

NOTE: ROOF MOUNTED EQUIPMENT HIDDEN FROM VIEW WITH PARAPETS.

NOTE 2: ROOF IS A WHITE 60 MIL TPO ROOF WITH A 30 YEAR WARRANTY.

MATERIAL ELEVATION PERCENTAGE:

STUCCO (PT-01)	48% (6,939 SQFT)
WOOD TEXTURED PANEL (WD-01)	22% (3,077 SQFT)
COLOR PAINT PATTERN (CN-01, PT02-05)	17% (2,389 SQFT)
BRICK (WD-01)	13% (1,888 SQFT)

TOTAL SQ FT - 14,293



MATERIAL ELEVATION PERCENTAGE:

BRICK (BR-01)	40% (5,247 SQFT)
COLOR PAINT PATTERN (CN-01, PT02-05)	31% (4,153 SQFT)
WOOD TEXTURED PANEL (WD-01)	20% (2,482 SQFT)
STOREFRONT	08% (1,076 SQFT)
METAL (MTL - 02)	01% (172 SQFT)

TOTAL SQ FT - 13,130



PROJECT TEAM:

DESIGN TEAM / ARCHITECTURE
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Strike & Reel

PROJECT NUMBER
17023
REVISIONS

ISSUE DATE
2019.09.04

SD
EXTERIOR ELEVATIONS
S1

SV 19-02



View from South East Service Road



View from President George Bush Turnpike



View from President George Bush Turnpike



View from tower to President George Bush Turnpike



GARLAND

Plan Commission

4. b.

Meeting Date: 09/23/2019

Item Title: Consider amendments to Chapter 2, Sections 2.51 and 2.52; and Chapter 6, Section 6.03 of the Garland Development Code

Summary:

Consider amendments to Chapter 2, Sections 2.51 and 2.52; and Chapter 6, Section 6.03 of the Garland Development Code creating a definition and regulations for “Makerspace (Hackerspace)” uses.

Attachments

Makerspace Report and Ordinance Attachment

Planning Report

Agenda Item: GDC amendments

Meeting: Plan Commission

Date: September 23, 2019



GARLAND
TEXAS MADE HERE

ISSUE

Consider amendments to Chapter 2, Sections 2.51 and 2.52; and Chapter 6, Section 6.03 of the Garland Development Code creating a definition and regulations for "Makerspace (Hackerspace)" uses.

BACKGROUND

Makerspaces (also referred to as "Hackerspaces") are collaborative work spaces, usually indoors, intended for learning and making and often applying technology. This use is not currently defined in the Garland Development Code. At the request of the City Council, the subject of defining and creating regulations for Makerspace uses was discussed by the Development Services Committee, and the draft amendments reflect their recommendation.

CONSIDERATIONS

1. The proposed definition for Makerspace (Hackerspace) is as follows: "A facility where common or designated area(s) are provided to support education through peer learning and knowledge sharing and incorporating workspace for support of participants interests, such as but not limited to computers, software development, technology, science, digital art, 3d printing, sewing, metal work, welding, machining, and woodworking."
2. It is proposed to only allow Makerspace (Hackerspace) uses in the Industrial (IN) zoning district by right.
3. A parking ratio of 1 space per 3 students, plus 1 space per 500 square feet gross floor area workshop, and 1 space per 1,000 square feet gross floor area of warehouse is proposed.
4. In addition, it is proposed that Makerspace (Hackerspace) facilities must comply with the following provisions:
 - No portion of a facility may be used for any use or action that would otherwise be prohibited within the zoning district in which it is located;
 - Outside display is prohibited;
 - Where outside storage is permitted within the zoning district, it shall comply with Section 2.52(A)(14)(C); and
 - A minimum of one heavy load vehicle loading berth must be provided in conformance with Section 4.22.
5. Following the Plan Commission's review and recommendation, the draft amendments will then be considered for formal approval by the City Council. The draft amendments are attached for the Plan Commission's review.

STAFF RECOMMENDATION

Approval of amendments to Chapter 2, Sections 2.51 and 2.52; and Chapter 6, Section 6.03 of the Garland Development Code creating a definition and regulations for “Makerspace (Hackerspace)” uses.

PREPARED BY:

Will Guerin, AICP

Director of Planning

972-205-2449

wguerin@garlandtx.gov

ORDINANCE NO. 7055

AN ORDINANCE AMENDING THE GARLAND DEVELOPMENT CODE OF THE CITY OF GARLAND, TEXAS; PROVIDING A SAVINGS CLAUSE; PROVIDING A PENALTY UNDER THE PROVISIONS OF SECTION 10.05 OF THE CODE OF ORDINANCES OF THE CITY OF GARLAND, TEXAS; PROVIDING A SEVERABILITY CLAUSE; AND SETTING AN EFFECTIVE DATE.

BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GARLAND, TEXAS:

Section 1

That Section 6.03, "Definitions," of Chapter 6, "Definitions" of the Garland Development Code of the City of Garland, Texas, is hereby amended by addition to define "Makerspace (Hackerspace)" to read as follows:

"Section 6.3 Definitions.

. . .

MAKERSPACE (HACKERSPACE): A facility where common or designated area(s) are provided to support education through peer learning and knowledge sharing and incorporating workspace for support of participants interests, such as but not limited to computers, software development, technology, science, digital art, 3d printing, sewing, metal work, welding, machining, and woodworking.

. . ."

Section 2

That the "Institutional and Educational Uses" section of the **Land Use Matrix** of Chapter 2, "Zoning Regulations" of the Garland Development Code of the City of Garland, Texas, is hereby amended by addition to include "Makerspace (Hackerspace)" in the first column of the table; that it be permitted by right ("P") in Industrial ("IN") zoning districts (16th column of the table); that the parking requirements (20th column of the table) be amended by addition to read as follows:

"1/3 students + 1/500 sq. ft gross floor area

workshop + 1/1000 sq. ft. gross floor area of warehouse"; and

That the final column of the Land Use Matrix, "Cross-references for Special Standards," be amended by addition in the row provided for "Makerspace (Hackerspace), to read "Sec. 2.52(A) (36) ."

Section 3

That Section 2.52, "Special Standards for Certain Uses," of Chapter 2, "Zoning Procedures" of the Garland Development Code of the City of Garland, Texas, is hereby amended by adding Section 2.52(A) (36) to read as follows:

"(36) Makerspace (Hackerspace). Makerspace (Hackerspace) facilities must comply with the following provisions of this Subsection (35):

- (a) No portion of a facility may be used for any use or action that would otherwise be prohibited within the zoning district in which it is located;
- (b) Outside display is prohibited;
- (c) Where outside storage is permitted within the zoning district, it shall comply with Section 2.52(A) (14) (C); and
- (d) A minimum of one heavy load vehicle loading berth must be provided in conformance with Section 4.22."

Section 4

That Garland Development Code for the City of Garland, Texas, as amended, shall be and remain in full force and effect save and except as amended by this Ordinance.

Section 5

That a violation of any provision of this Ordinance shall be a misdemeanor punishable in accordance with Sec. 10.05

of the Code of Ordinances of the City of Garland, Texas.

Section 6

That the terms and provisions of this Ordinance are severable and are governed by Sec. 10.06 of the Code of Ordinances of the City of Garland, Texas.

Section 7

That this Ordinance shall be and become effective immediately upon and after its passage and approval.

PASSED AND APPROVED this the _____ day of _____, 2019.

CITY OF GARLAND, TEXAS

Mayor

ATTEST:

City Secretary